



# CITY OF TWIN FALLS

## NOTICE OF SPECIAL MEETING

Development Impact Fee and  
Improvement Reimbursement Committee

**Thursday, October 20, 2016**

**12:00 PM to 1:30 PM**

LOCATION: 305 3<sup>RD</sup> AVENUE EAST  
CITY COUNCIL CHAMBERS

Lisa Strickland  
Administrative Assistant  
208-735-7267





CITY OF TWIN FALLS  
DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE &  
IMPROVEMENT REIMBURSEMENT COMMISSION  
Thursday, October 20, 2016 – 12:00 p.m. Special Meeting  
City Council Chambers  
305 3<sup>rd</sup> Avenue East – Twin Falls, Idaho

#### AGENDA

#### DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE/IMPROVEMENT REIMBURSEMENT COMMISSION MEMBERS:

Nathan Bishop	Vacant	Chad DeBie	Andrew DiPietro	Jennifer Jensen	Gerald Martens	Susan Petruzzelli	Colby Ricks	Brad Wills
				Vice-Chair				Chair

## Special Meeting Notice Development Impact Fee Advisory Committee & Improvement Reimbursement Commission

- I. Call Meeting to Order
- II. Consideration of the Minutes from the May 18, 2016 Meeting
- III. Review member terms
- IV. Review and discuss the Fiscal Year 2016 Impact Fee Financial Report
- V. Discuss recommendation to the City Council regarding the fee increase scheduled for January 1, 2017
- VI. Consider and act on a request to recommend modification to the Streets CIP to include the extension of North College Road and Creekside Way
- VII. Consider and act on an amendment to Resolution 1816 regarding the eligibility for development reimbursements
- VIII. Improvement Reimbursement Committee Items:
  - a. Federation Road extension, Rock Creek Elementary School
  - b. Off-site sewer improvements, Pole Line Road
- IX. Next Committee meeting
- X. Adjourn

Si desea esta información en español, llame Leila Sanches al (208) 735-7287  
Any person(s) needing special accommodations to participate in the above noticed meeting should contact Lisa A. Strickland at (208) 735-7267 at least two (2) working days before the meeting.

**I. Call Meeting to Order**

**II. Consideration of the Minutes from the May 18, 2016 Meeting**

The minutes are attached for your review and approval.

**III. Review member terms**

Chad is closing out a partial term in March of 2017. He is eligible for two full term reappointments. Susan and Gerald are finishing their first full terms in March. Both are eligible for one more full term. We are still down one vacant position. Seven of our current eight members are employed in a development related field. We are required to have at least four, so we are well over that limit. This last position should probably be filled with a non-development related professional.

**IV. Review and discuss the Fiscal Year 2016 Impact Fee Financial Report**

The 2016 financial report is attached for your review. Following your review, staff will prepare the Annual Impact Fee Report from the Committee to the City Council and will include the attached financial report.

In addition to the Financial Report, the Annual Impact Fee Report to the City Council should also include other recommendations from the Committee. City Code requires that the committee:

1. "File periodic reports, at least annually, with respect to the Capital Improvements Plan and report to the governmental entity any perceived inequities in implementing the plan or imposing the development impact fees; and"
2. "Advise the governmental entity of the need to update or revise land use Assumptions, Capital Improvements Plan and Development Impact Fees."

On October 1, 2014, the City implemented a significant update to the impact fee program, including several amendments to the capital improvement plans, the planning horizon, and the fee amounts. The Committee was very involved in the creation of the update. The new program has been going well for the last two years with no negative feedback received by City staff.

There is an item later on this agenda to discuss possibly amending the Street Impact Fee CIP. Also, the City recently completed an update to the City Comprehensive Plan. Part of that project included a fire station location analysis and recommendation. The intent of this analysis is to help the City determine the future location and count for our fire stations. While the analysis has been completed, staff is requesting a little more time to review and understand that analysis before proposing changes, if any, to the Fire Impact Fee CIP. The City just appointed a new Fire Chief earlier this week. We would like the new Chief to have some time to review that analysis and work on an implementation plan before we discuss impact fee amendments with the Committee. We anticipate being able to share that analysis with the Committee at our next meeting.

the Committee should certainly discuss what, if any, recommendations to make to the City Council in this year's Annual Impact Fee Report. The Committee's recommendation will be included in the Report to the City Council, typically presented in December.

**V. Discuss recommendation to the City Council regarding the fee increase scheduled for January 1, 2017**

On January 1, 2016, the Municipal Cost Index (MCI) was a negative figure. Consequently, there was no automatic increase at that time. Impact fee project costs have not been updated since the program revision that was approved in early 2014, with those fee amounts going into effect on 10/1/14. The current fee amounts are:

## **Total Fees**

Single Family (per dwelling unit)	\$	1,994
Multifamily (per dwelling unit)	\$	1,822
Retail (per square foot)	\$	2.86
Office (per square foot)	\$	1.20
Industrial (per square foot)	\$	0.99
Institutional (per square foot)	\$	0.61

City Code 10-18-12 includes a provision for the impact fee project costs to be automatically increased annually on January 1 of each year to account for inflation increases by a rate equal to the MCI. Through August 2016, the MCI rate compared to last year is 0.826%. The MCI has been trending upward since April and we anticipate a positive MCI in January. The Committee should discuss and make a recommendation to the Council regarding the automatic increase scheduled for January 1, 2017. Since it has been two years since we've adjusted the capital improvement costs and the MCI is less than 1% right now, staff would support allowing the automatic increase to occur.

**VI. Consider and act on a request to recommend modification to the Streets CIP to include the extension of North College Road and Creekside Way**

See attached report

**VII. Consider and act on an amendment to Resolution 1816 regarding the eligibility for development reimbursements**

See attached report

**VIII. Improvement Reimbursement Committee Items:**

- a. Federation Road extension, Rock Creek Elementary School

See attached report

- b. Off-site sewer improvements, Pole Line Road

See attached report

**IX. Next Committee meeting**

April 27, 2017 is the tentative date for the next meeting.

**X. Adjourn**





CITY OF TWIN FALLS  
DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE &  
IMPROVEMENT REIMBURSEMENT COMMISSION  
Wednesday, May 18, 2016 – 12:00 p.m. Special Meeting  
City Council Chambers  
305 3<sup>rd</sup> Avenue East – Twin Falls, Idaho

AGENDA

DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE/IMPROVEMENT REIMBURSEMENT COMMISSION MEMBERS:

Nathan Bishop	<b>Vacancy</b>	Chad DeBie	Andrew DiPietro	Jennifer Jensen	Gerald Martens	Susan Petruzzelli	Colby Ricks	Brad Wills
					Vice-Chair			Chair

Special Meeting Agenda

- I. Call Meeting to Order
- II. Introduction of new Committee Members & Term Review
- III. Election of Committee Officers
- IV. Consideration of the Minutes: [October 22, 2015](#)
- V. Discussion of Impact Fee Financial Report
- VI. Improvement Reimbursement Committee Items: [October 27, 2016](#)
  - a. WS & V and Housing Company Sewer Extension Project
- VII. Next Committee meeting
- VIII. Adjourn Meeting

Si desea esta información en español, llame Leila Sanches al (208) 735-7287  
Any person(s) needing special accommodations to participate in the above noticed meeting should contact Lisa A. Strickland at (208) 735-7267 at least two (2) working days before the meeting.

**I. Call Meeting to Order**

Chairman Wills called the meeting to order at 11:30am and confirmed a quorum.

**Agenda Amendment**

Deputy City Manager Humble stated that the agenda needs to be amended and asked Assistant City Engineer Vitek for clarification.

Assistant City Engineer Vitek explained that item VI-a will be withdrawn from the agenda. There have been changes in the area that will impact the payback information and more calculations need to be made before the item can be presented.

**II. Introduction of new Committee Members & Term Review**

The Mayor and Council recently appointed Andrew DiPietro to the Committee. Brad Wills was also reappointed to a second term. Welcome Andrew, and welcome back Brad. Everyone's terms are listed below. Note that we again have a vacancy. We are also heavy on the industry committee members right now, so a non-industry committee member would be a good addition. Let us know if you have any ideas of someone who'd like to join the committee.

Name	Term	Partial/Full	Started	Expires	Email
Brad Wills	2	F	03/2016	03/2019	<a href="mailto:bradwills2007@gmail.com">bradwills2007@gmail.com</a>
Susan Petruzzelli	1	F	02/2014	03/2017	<a href="mailto:petz@cableone.net">petz@cableone.net</a>
Gerald Martens	1	F	02/2014	03/2017	<a href="mailto:gmartens@ehminc.com">gmartens@ehminc.com</a>
Colby Ricks	1	F	06/2015	06/2018	<a href="mailto:colby.ricks@gmail.com">colby.ricks@gmail.com</a>
Nathan Bishop	1	F	06/2015	06/2018	<a href="mailto:2creativeguys@gmail.com">2creativeguys@gmail.com</a>
Chad Debie	1	P	06/2015	06/2017	<a href="mailto:chad@tkohomes.com">chad@tkohomes.com</a>
Jennifer Jensen	1	F	06/2015	06/2018	<a href="mailto:jjensen@farmersagent.com">jjensen@farmersagent.com</a>
Andrew DiPietro	1	F	04/2016	04/2019	<a href="mailto:andrewd@pbcbuilds.com">andrewd@pbcbuilds.com</a>
Vacant					

**III. Election of Committee Officers**

Brad Wills is the current Chairman with Gerald Martens as the Vice-Chairman. We'll need a motion select new, or reaffirm the current officers.

**Motion:**

Committee Member Petruzzelli made a motion to reaffirm the current offices for the Committee. Commissioner Bishop seconded the motion.

[Unanimously Approved](#)

**IV. Consideration of the Minutes**

See attached minutes from the October 22, 2015 meeting.

**Motion:**

Committee Member Bishop made a motion to approve the minutes, as presented. Committee Member Ricks seconded the motion.

[Unanimously Approved](#)

**V. Discussion of Impact Fee Financial Report**

See attached financial report. The report includes data collected through the end of April. Our fee table is also provided below. Since the MCI on January was negative, there was no increase to the fee amounts in January-2016.

<b>Total Fees</b>	
Single Family (per dwelling unit)	\$ 1,994
Multifamily (per dwelling unit)	\$ 1,822
Retail (per square foot)	\$ 2.86
Office (per square foot)	\$ 1.20
Industrial (per square foot)	\$ 0.99
Institutional (per square foot)	\$ 0.61

**Questions/Comments:**

Chairman Wills verified that the last significant increase to the fees occurred in 2014. Deputy City Manager Humble explained that in October 2014 there was a significant increase because of the adoption of a new Capital Improvement Plan (CIP). The following January there was not an increase in 2015 because of the significant increase that occurred in October 2014.

**City of Twin Falls  
 Summary of Impact Fee Activity**

5/10/2016	08-09	09-10	10-11	11-12	12-13	13-14	14-15	Total	thru 4-30-16 15-16	Totals
Residential Impact Fees-Police	\$ 2,820	\$ 20,924	\$ 16,726	\$ 25,748	\$ 36,926	\$ 43,378	\$ 56,211	\$ 202,734	\$ 29,295	\$ 232,029
Non-resid. Impact Fees-Police	\$ -	\$ 1,644	\$ 5,412	\$ 57,916	\$ 64,520	\$ 32,194	\$ 100,738	\$ 262,423	\$ 44,849	\$ 307,272
Revenue Subtotal-Police	\$ 2,820	\$ 22,567	\$ 22,138	\$ 83,665	\$ 101,445	\$ 75,572	\$ 156,949	\$ 465,156	\$ 74,144	\$ 539,301
										\$ (1,412,340)
Residential Impact Fees-Fire	\$ 8,055	\$ 60,063	\$ 47,776	\$ 73,520	\$ 105,271	\$ 123,712	\$ 126,097	\$ 544,494	\$ 65,205	\$ 609,699
Non-resid. Impact Fees-Fire	\$ -	\$ 4,602	\$ 15,150	\$ 155,071	\$ 181,642	\$ 68,153	\$ 236,016	\$ 660,634	\$ 104,353	\$ 764,987
Revenue Subtotal-Fire	\$ 8,055	\$ 64,664	\$ 62,927	\$ 228,591	\$ 286,913	\$ 191,866	\$ 362,113	\$ 1,205,129	\$ 169,558	\$ 1,374,687
										\$ (127,686)
Residential Impact Fees-Streets	\$ 4,065	\$ 30,545	\$ 23,734	\$ 42,530	\$ 51,288	\$ 57,803	\$ 99,244	\$ 309,209	\$ 52,089	\$ 361,298
Non-resid. Impact Fees-Streets	\$ -	\$ 21,773	\$ 46,497	\$ 173,666	\$ 192,210	\$ 143,034	\$ 474,376	\$ 1,051,557	\$ 92,926	\$ 1,144,483
Revenue Subtotal-Streets	\$ 4,065	\$ 52,319	\$ 70,231	\$ 216,196	\$ 243,498	\$ 200,837	\$ 573,620	\$ 1,360,766	\$ 145,015	\$ 1,505,782
<b>Street light project - Expenditures</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (37,260)</b>	<b>\$ (373,482)</b>	<b>\$ -</b>	<b>\$ (410,742)</b>	<b>\$ -</b>	<b>\$ (410,742)</b>
Net Revenue-Streets	\$ 4,065	\$ 52,319	\$ 70,231	\$ 216,196	\$ 206,238	\$ (172,644)	\$ 573,620	\$ 950,024	\$ 145,015	\$ 1,095,040
Residential Impact Fees-Parks	\$ 9,150	\$ 67,402	\$ 54,270	\$ 82,022	\$ 119,510	\$ 140,432	\$ 159,464	\$ 632,251	\$ 62,265	\$ 694,516
Transfer from the CI Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 163,333	\$ 163,333
Revenue Subtotal-Parks	\$ 9,150	\$ 67,402	\$ 54,270	\$ 82,022	\$ 119,510	\$ 140,432	\$ 159,464	\$ 632,251	\$ 225,598	\$ 857,849
<b>Parks - Equipment storage bldg</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (50,874)</b>	<b>\$ (50,874)</b>	<b>\$ (116,527)</b>	<b>\$ (167,401)</b>				
<b>Parks - Trails</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (400,000)</b>	<b>\$ (400,000)</b>				
Net Revenue-Parks	\$ 9,150	\$ 67,402	\$ 54,270	\$ 82,022	\$ 119,510	\$ 140,432	\$ 108,590	\$ 581,377	\$ (290,929)	\$ 290,448
										\$ (127,686)
										\$ (410,742)
										\$ (167,401)
										\$ (400,000)
										\$ 290,448
										\$ (290,929)
										\$ 290,448

Est. use of reserves for Storrer property trails.

FY 2016 budget includes:  
 Trails-Parks Reserves-\$400,000  
 Trails-Parks new \$-\$120,000  
 Trails-CI Transfers-\$280,000  
 } \$800,000

We are not requesting to budget any impact fee funds to be spent during the next fiscal year. However, we do have park impact fee funds included in this year's budget for a significant trail expansion. That expense is shown on the financial report.

You are all probably aware that the City has acquired and is remodeling the former Banner Furniture building to be the City's new City Hall. One of the primary reasons for that move is to vacate the current City Hall so that it can be remodeled for an expanded police station building. That project is also currently underway. Additional police station square feet is a project that is included in the Police Impact Fee Capital Improvement Plan. It is the City's intent to spend the collected police impact fees on this project. That will likely come as a budget amendment to the current year's budget, rather than a budget request to next year's budget, since we will be obligating those funds in this year.

This project also includes an expansion to the City's dispatch center. Both the police and fire capital improvement plans include funds for the dispatch center expansion. We plan to use fire impact fees for that specific purpose, also as a budget amendment in this year's budget.

Potential impact fee projects identified for CH/PD:	Impact Fee CI Projects/Budgets	Fees on Hand	Receipt Est. thru 2019	Totals
Police:				
Police Station	\$ 1,164,478			
Communication Center - Expansion	\$ 247,862	\$ 500,000		\$ 500,000
Residential (6 yr average = \$33,000/year x 4 years)			\$ 132,000	\$ 132,000
Non-residential (4 year/4 mo. Ave = \$24,000/year x 4 years) Lg projects have been excluded			\$ 96,000	\$ 96,000
Large projects			\$ 72,000	\$ 72,000
Fire:				
Communication Center - Expansion	\$ 127,686	\$ 127,686	\$ (1,686)	\$ 126,000
<b>Total</b>	<b>\$ 1,540,026</b>	<b>\$ 627,686</b>	<b>\$ 298,314</b>	<b>\$ 926,000</b>

**Motion:**

Committee Member Bishop made a motion to recommend that the Fire & Police Impact Fees be used to fund the Call Center Operations Growth Related Expansion. Committee Member Martens seconded the motion. All members present voted in favor of the motion.

[Unanimously Approved](#)

**Questions/Comments:**

- Committee Member asked about the grant that the Fire Department applied for regarding the Ladder Truck.
- Deputy City Manager stated that they did not qualify for the grant and the Fire Department is currently reviewing their plan for future growth. There should be more information available in October regarding growth and the possibly need for an additional station that may warrant an additional truck. Data is being gathered now and this will be included in the Comprehensive Plan Update.
- Committee Member DeBie asked if there has been any argument that these projects are not growth related.
- Deputy City Manager Humble explained that the growth is approximately 14000 sq. ft. that they did not have and employees will be added as a direct response to the community's growth.
- Committee Member DePietro asked if the Impact Fees were included in the budget for the new City Hall and Safety Complex.
- Deputy City Manager Humble explained that the Impact Fees were not budgeted to be spent however as projects come up and the funds become available this Committee makes recommendations to City Council for funding the Capital Improvement Projects.

**VI. Improvement Reimbursement Committee Items-**

- a. WS & V and Housing Company Sewer Extension Project (see attached packet)-**WITHDRAWN**

**VII. Next Committee meeting**

The tentative date for our next meeting is October 27, 2016.

**VIII. Additional Input/Discussion:**

- Chairman Wills asked Deputy City Manager Humble to do an overview of this Impact Fee process for the new committee member.
- Deputy City Manager Humble explained that Impact Fees are used as a way of analyzing growth and its impact to the community. As growth occurs it generally means more cars, more trip generations and traffic signals, more community/regional parks. These improvements have estimated costs for these projects and the fees are calculated using the estimated costs and divide by the growth. The Capital Improvement Plan is funded directly by the collection of the Impact Fees. The growth projections may have been skewed at the time the Impact Fees came into effect and when the Comprehensive Plan is updated the growth projections will be reviewed again. Only residential pays into the park funds and all the categories pay streets, police and fire fees. The residential fees are flat rates and the other categories have fees that are based on additional square footage.
- Committee Member DePietro clarified that the street fees only include street improvements not water and sewer.
- Deputy City Manager Humble stated yes if a street project is included on the CIP it would only pay for the materials related to street improvements not water or sewer.

Chairman Wills adjourned the meeting at 12:34 pm

Lisa A Strickland  
Administrative Assistant  
Planning & Zoning Department

DRAFT

### Membership Terms 2016-2017

Name	Related Business	Term	Contact Information
Nathan Bishop	Yes	First Full Term Exp 3/2018	<a href="mailto:2creativeguys@gmail.com">2creativeguys@gmail.com</a> 420-9154 / 733-3180
Jennifer Jensen	No	First Full Term Exp 3/2018	<a href="mailto:jjensen@farmersagent.com">jjensen@farmersagent.com</a> 420-3748 / 733-7630
Colby Ricks	Yes	First Full Term Exp 3/2018	<a href="mailto:Colby.ricks@gmail.com">Colby.ricks@gmail.com</a> 736-8050
Vacant		term expires 3/2019	
Brad Wills	Yes	Second full term, expires 3/2019	<a href="mailto:bradw@willsinc.com">bradw@willsinc.com</a> <a href="mailto:bradwills@cox.net">bradwills@cox.net</a>
Andrew DiPietro	Yes	First full term, expires 3/2019	andrewd@pbcbuilds.com
Chad Debie	Yes	First Partial Term Exp 3/2017	<a href="mailto:chad@tkohomes.com">chad@tkohomes.com</a> 731-6867
Gerald Martens	Yes	First full term, expires 3/2017	<a href="mailto:gmartens@ehminc.com">gmartens@ehminc.com</a>
Susan Petruzzelli	Yes	First full term, expires 3/2017	<a href="mailto:petz@cableone.net">petz@cableone.net</a>
Chris Talkington	Council Liaison	Appointed as Liaison 1/2012	<a href="mailto:CTalkington@tfid.org">CTalkington@tfid.org</a>



**City of Twin Falls  
Summary of Impact Fee Activity**

10/18/2016

	<u>08-09</u>	<u>09-10</u>	<u>10-11</u>	<u>11-12</u>	<u>12-13</u>	<u>13-14</u>	<u>14-15</u>	<u>Total</u>	unaudited thru 9-30-16 <u>15-16</u>	<u>Totals</u>
Residential Impact Fees-Police	\$ 2,820	\$ 20,924	\$ 16,726	\$ 25,748	\$ 36,926	\$ 43,378	\$ 56,211	\$ 202,734	\$ 59,706	\$ 262,440
Non-resid. Impact Fees-Police	\$ -	\$ 1,644	\$ 5,412	\$ 57,916	\$ 64,520	\$ 32,194	\$ 100,738	\$ 262,423	\$ 68,989	\$ 331,412
Revenue Subtotal-Police	\$ 2,820	\$ 22,567	\$ 22,138	\$ 83,665	\$ 101,445	\$ 75,572	\$ 156,949	\$ 465,156	\$ 128,695	\$ 593,851
Residential Impact Fees-Fire	\$ 8,055	\$ 60,063	\$ 47,776	\$ 73,520	\$ 105,271	\$ 123,712	\$ 126,097	\$ 544,494	\$ 132,894	\$ 677,388
Non-resid. Impact Fees-Fire	\$ -	\$ 4,602	\$ 15,150	\$ 155,071	\$ 181,642	\$ 68,153	\$ 236,016	\$ 660,634	\$ 159,529	\$ 820,163
Revenue Subtotal-Fire	\$ 8,055	\$ 64,664	\$ 62,927	\$ 228,591	\$ 286,913	\$ 191,866	\$ 362,113	\$ 1,205,129	\$ 292,423	\$ 1,497,552
Residential Impact Fees-Streets	\$ 4,065	\$ 30,545	\$ 23,734	\$ 42,530	\$ 51,288	\$ 57,803	\$ 99,244	\$ 309,209	\$ 106,698	\$ 415,907
Non-resid. Impact Fees-Streets	\$ -	\$ 21,773	\$ 46,497	\$ 173,666	\$ 192,210	\$ 143,034	\$ 474,376	\$ 1,051,557	\$ 186,984	\$ 1,238,541
Revenue Subtotal-Streets	\$ 4,065	\$ 52,319	\$ 70,231	\$ 216,196	\$ 243,498	\$ 200,837	\$ 573,620	\$ 1,360,766	\$ 293,682	\$ 1,654,448
<b>Street light project - Expenditures</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (37,260)</b>	<b>\$ (373,482)</b>	<b>\$ -</b>	<b>\$ (410,742)</b>	<b>\$ -</b>	<b>\$ (410,742)</b>
Net Revenue-Streets	\$ 4,065	\$ 52,319	\$ 70,231	\$ 216,196	\$ 206,238	\$ (172,644)	\$ 573,620	\$ 950,024	\$ 293,682	\$ 1,243,707
Residential Impact Fees-Parks	\$ 9,150	\$ 67,402	\$ 54,270	\$ 82,022	\$ 119,510	\$ 140,432	\$ 159,464	\$ 632,251	\$ 126,902	\$ 759,153
Transfer from the CI Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 280,000	\$ 280,000
Revenue Subtotal-Parks	\$ 9,150	\$ 67,402	\$ 54,270	\$ 82,022	\$ 119,510	\$ 140,432	\$ 159,464	\$ 632,251	\$ 406,902	\$ 1,039,153
<b>Parks - Equipment storage bldg</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (50,874)</b>	<b>\$ (50,874)</b>	<b>\$ (117,492)</b>	<b>\$ (168,366)</b>
<b>Parks - Trails</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
Net Revenue-Parks	\$ 9,150	\$ 67,402	\$ 54,270	\$ 82,022	\$ 119,510	\$ 140,432	\$ 108,590	\$ 581,377	\$ 289,410	\$ 870,787
							\$ -	\$ -	\$ -	\$ -
							\$ -	\$ -	\$ -	\$ -
							\$ 108,590	\$ 581,377	\$ 289,410	\$ 870,787
FY 2016 budget includes:										
Trails-Parks Reserves-\$400,000										
Trails-Parks new \$-\$120,000										
Trails-CI Transfers-\$280,000										
										\$800,000
Interest Income-Adj for Unrealized Gain or Loss	\$ -	\$ 2,137	\$ 1,846	\$ 8,778	\$ (4,411)	\$ 32,327	\$ 50,029	\$ 90,707	\$ 71,945	\$ 162,652
<b>TOTALS</b>	<b>\$ 24,090</b>	<b>\$ 209,089</b>	<b>\$ 211,412</b>	<b>\$ 619,252</b>	<b>\$ 709,695</b>	<b>\$ 267,553</b>	<b>\$ 1,251,301</b>	<b>\$ 3,292,392</b>	<b>\$ 1,076,155</b>	<b>\$ 4,368,548</b>





**Date:** Monday, October 20, 2016  
**To:** Impact Fee & Development Reimbursement Commission  
**From:** Jacqueline D Fields, City Engineer

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**Request:**

Consideration of a request to consider recommend modification to the Streets CIP to include the extension of north College Rd and Creekside Way.

**Time Estimate:**

The presentation will take approximately 5 minutes. The discussion may take 20 minutes.

**Background:**

The City of Twin Falls recently acquired the Sunway soccer complex from the Twin Falls School District. The improvements required by the platting process will be required at a future date when it is determined that new building permits are required for construction of park facilities. These improvements include extension of water and sewer service to the west and south, reconstruction and major widening of Grandview Drive, and construction of ½ the roadway for Creekside Way and North College Road.

This request is to consider the ½ road construction of Creekside Way and North College Drive as part of the Street Capital Improvement Program (CIP) for impact fees. Currently, the park has sufficient and appropriate access from Grandview Drive. Demand for the extension of North College Road and Creekside Way along the boundaries of Sunway Soccer Complex will increase as the neighborhoods to the east and south grow. Construction of these roads are completely growth related and so staff is requesting consideration of placement for these roads onto the Streets CIP.

**Approval Process:**

If approved, this recommendation will be presented to the City Council for consideration.

**Budget Impact:**

Fees and revenues do not change due to inclusion of these projects. If the projects are not included in the CIP, then the City will need to construct them. This will either be funded from Parks funds, in lieu of trails or amenities at various parks, or from Streets funds in lieu of reconstruction of existing failing pavements or Canyon Springs grade work.

**Conclusion:**

Staff recommends that the Commission recommend modification of the Streets CIP to include the extension of north College Rd and Creekside Way.

**Attachments:**

Map

Fieldstream Apartments

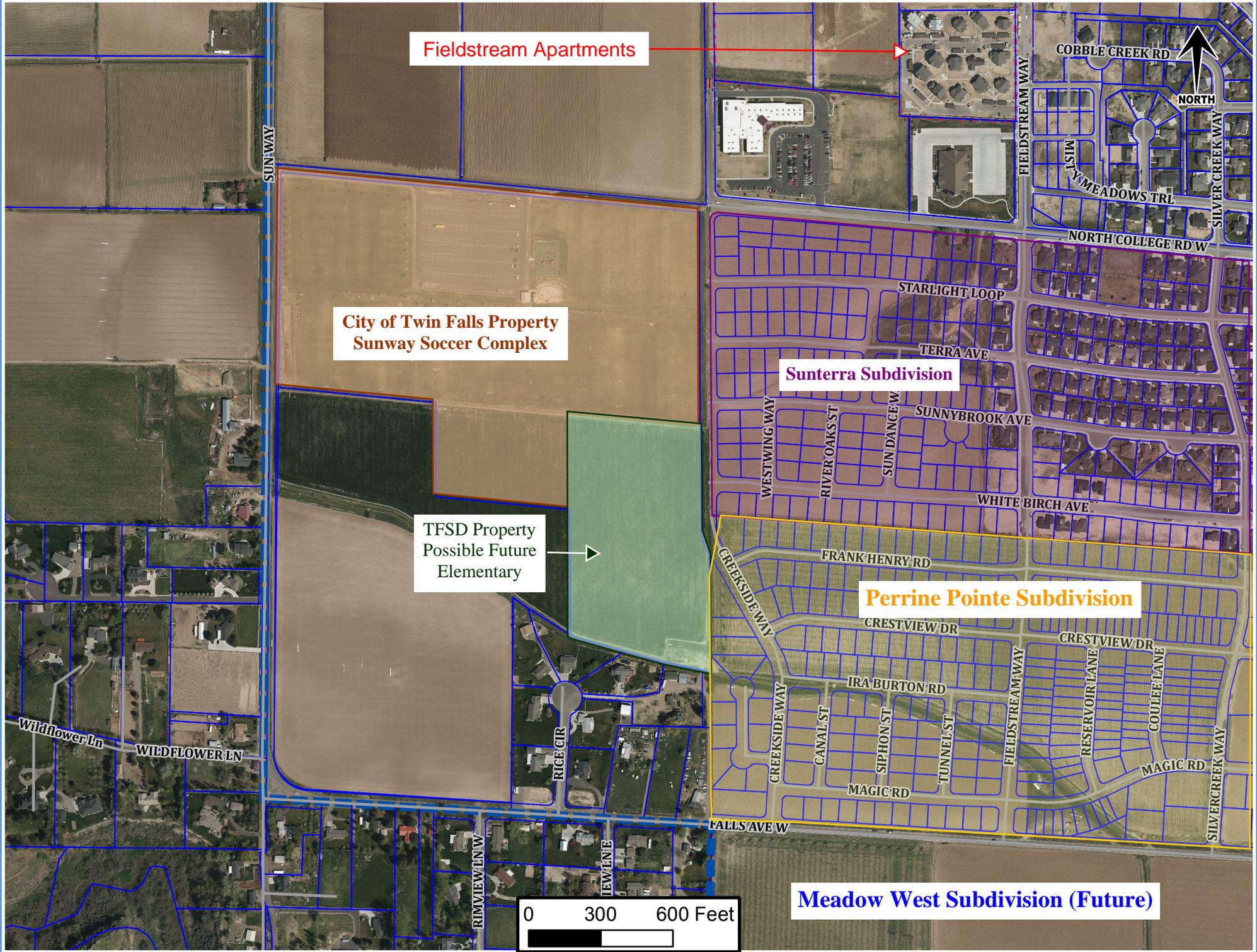
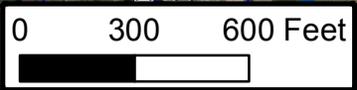
City of Twin Falls Property  
Sunway Soccer Complex

TFSD Property  
Possible Future  
Elementary

Sunterra Subdivision

Perrine Pointe Subdivision

Meadow West Subdivision (Future)



RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF TWIN FALLS, IDAHO, AMENDING RESOLUTION NO. 1816 BY DELETING REFERENCE TO “PRIVATE” DEVELOPER, AND BY PROVIDING A DEFINITION OF “INITIAL DEVELOPER”.

BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF TWIN FALLS, IDAHO:

Section 1: That Resolution No. 1816 is amended by deletion of the word “private” before “developer” in the “Purpose” section of the Resolution.

Section 2: That Resolution No. 1816 is amended by the addition of a definition of “initial developer” in the “Application By Initial Developer for Participation in Reimbursement Program” section of the Resolution, as follows:

“Initial Developer” is hereby defined as any entity, individual, corporation, quasi-public corporation, non-profit organization, district, housing agency, partnership, firm, association, limited liability partnership or other such entities as recognized by the state of Idaho. This definition is intended to exclude the City of Twin Falls, Urban Renewal Agency and other governmental entities that fund or construct public improvements (as defined herein) in the ordinary course of their business.”

PASSED BY THE CITY COUNCIL  
SIGNED BY THE MAYOR

, 2016.  
, 2016.

\_\_\_\_\_

MAYOR

ATTEST:

\_\_\_\_\_  
DEPUTY CITY CLERK



**To: City of Twin Falls Engineering Department  
Improvement Reimbursement Committee**

**Reference: Application for eligible improvements  
Federation Road Extension  
Rock Creek Elementary School  
Twin Falls School District**

- Please find enclosed the necessary completed forms and information required for this Application for consideration by the Improvement Reimbursement Committee.
- Listed below are the forms and exhibits explaining the requested reimbursements.

Project Name		Federation Road Extension	
8/1/2016			
Documents & Exhibits			
	0		3rd Party Review
	1		Application
	2		Vicinity Map
	3		Narrative
	4		Boundary of Project
	5		Area of Benefit
	6	1	Current Ownership
		2	Ownership List of all Lots
	7	1	Recorded Final Plat NP3
		2	Recorded Final Plat NP5
		3	Overlay showing both
	8	1	Contract Document for Actual Cost
		2	Master Payback Worksheet
		3	Worksheet on Quantities
		4	Deduct Worksheet
	9	1	As Built Construction Plan
		2	As Built Expanded View Construction Plan
		3	Road Section Federation
	10	1	Ownership Certification
	11	1	City of Twin Falls Approval Letter

815 Yakima Ave.  
Filer, ID 83328  
208.420.9624  
Jd.hg.barnes@gmail.com

8/29/2016

City of Twin Falls  
Attn: Troy Vitek, P.E.  
324 Hansen St. E.  
Twin Falls, ID 83301

Dear Mr. Vitek,

Mr. Brad Wills retained my services to conduct a third party review of the submitted Improvement Reimbursement Application for the Federation Road Extension Project that was completed during the Rock Creek Elementary School project. After careful review it is my opinion that the application was completed professionally and the items, quantities, and associated costs successfully meet the intent of the City of Twin Falls adopted Ordinance #2974 and Resolution 1816.

Should the City have any questions regarding this review, please feel free to contact me at 208-420-9624 or [jd.hg.barnes@gmail.com](mailto:jd.hg.barnes@gmail.com).

Kind regards,



Hailey G. Barnes, P.E.

Attachments: Improvement Reimbursement Application: Federation Road Extension

Cc: Brad Wills



**IMPROVEMENT REIMBURSEMENT APPLICATION  
OFF SITE SEWER PROJECT**

**August 1, 2016**

Subdivision Name: Northern Passage Subdivision 3 and 5 Acres/Lots: 10.60 Acres/ 38 Lots +/-  
Subdivision Locations S1/2 NW1/4, 9 South, Range 17 East, Boise Meridian

Cross Streets: Federation Road and Columbia Drive

Initial Developer: Twin Falls School District Contact: Brady Dickinson

Address/phone #: 201 Main St. West, Twin Falls, Idaho 83301 208-733-6900

Current Contact: Twin Falls School District Contact: Brady Dickinson

Address/phone #: 201 Main St. West, Twin Falls, Idaho 83301 208-733-6900

Local Agent for Owner: Brad Wills, 222 Shoshone St. West, Twin Falls Idaho 83303-0346 208-420-0314

Property Owner: Twin Falls School District Contact: Brady Dickinson

Address/phone #: 201 Main St. West, Twin Falls, Idaho 83301 208-733-6900

Engineering Firm: EHM Engineering Contact: Tim Vawser

Address/phone #: 621 North College Road Suite 100 Twin Falls, Idaho, 83301

The City of Twin Falls adopted Ordinance Number 2974 and Resolution 1816 which allows developers to submit an application to the Improvement Reimbursement Committee (I.R.C.) of the City of Twin Falls if they wish to seek reimbursement for improvements for previously developed and accepted utilities and roadways that benefit future development. More specifically; whenever any extension is made by a private developer (initial developer) to the City of Twin Falls' (City) water distribution system, wastewater collection system, transportation system, pressure irrigation pump stations and distribution systems, in such a manner as to enable a subsequent private developer or property owner to connect to or extend the previously extended water distribution system, wastewater collection system, transportation system, pressure irrigation pump stations and distribution systems, the subsequent private developer or property owner (subsequent developers) shall first make proper compensation to the initial developer for the costs of the water distribution system, wastewater collection system, transportation system, pressure irrigation pump stations and distribution systems (improvements).

The initial developer must maintain proper identity and current address with the City Engineer in order to be eligible for proper compensation in the future.

The lists below identify the items that are required for submittal of the Improvement Reimbursement application.

Incomplete submittals will not be accepted or reviewed. It is the responsibility of Engineering firm and/or Developer/ Owner to see that all the required information is submitted to the City in the proper form.

Include the following information:

1. Improvement Reimbursement Application
2. A Narrative describing the project overview, the initial improvements, the surrounding areas that will benefit from the improvements, the boundary of the affected area, any known developers/owners that will be included in this application and any other information that would be supportive to the commission.

3. Vicinity Map
4. Proof of past ownership of the real property included in this application.
5. AS-BUILT drawing on file with the City of Twin Falls Engineering Department of improvement.
6. The letter from the City Engineering Department approving the completion of the improvements and accepting the project for maintenance.
7. If required, an electronic GIS file indicating items subject to reimbursement.
8. A plan identifying all improvements proposed for compensation.
  - a. A separate plan for each of the individual reimbursement areas.
    - i. Include all four system for that area:
      1. water distribution system
      2. wastewater collection system
      3. transportation system
      4. pressure irrigation pump stations and distribution systems
    - ii. Identify the surrounding area that benefits from the improvements.
9. Each individual reimbursement area should include the following information;
  - i. Improvements for consideration
  - ii. The estimated boundary that will benefit from those improvements.
  - iii. Actual cost of installation
    1. Attach copy of original cost documents
    2. If costs are unavailable, other documentation per Ordinance guidelines
  - iv. Estimated proposed reimbursement

Filing Fee: \$ 200.00

Date Submitted: August 1, 2016

Fee per Lot, tract or parcel impacted \$ 10.00

Fee to be calculated after I. R. C. Approval

Application received by the City Engineering Department.

Date Reviewed by City Staff: \_\_\_\_\_

Date of Boundary Verification by Engineer Dept.: \_\_\_\_\_

Date of Notification to Improvement Reimbursement Commission: \_\_\_\_\_

Date Scheduled for Commission meeting: \_\_\_\_\_

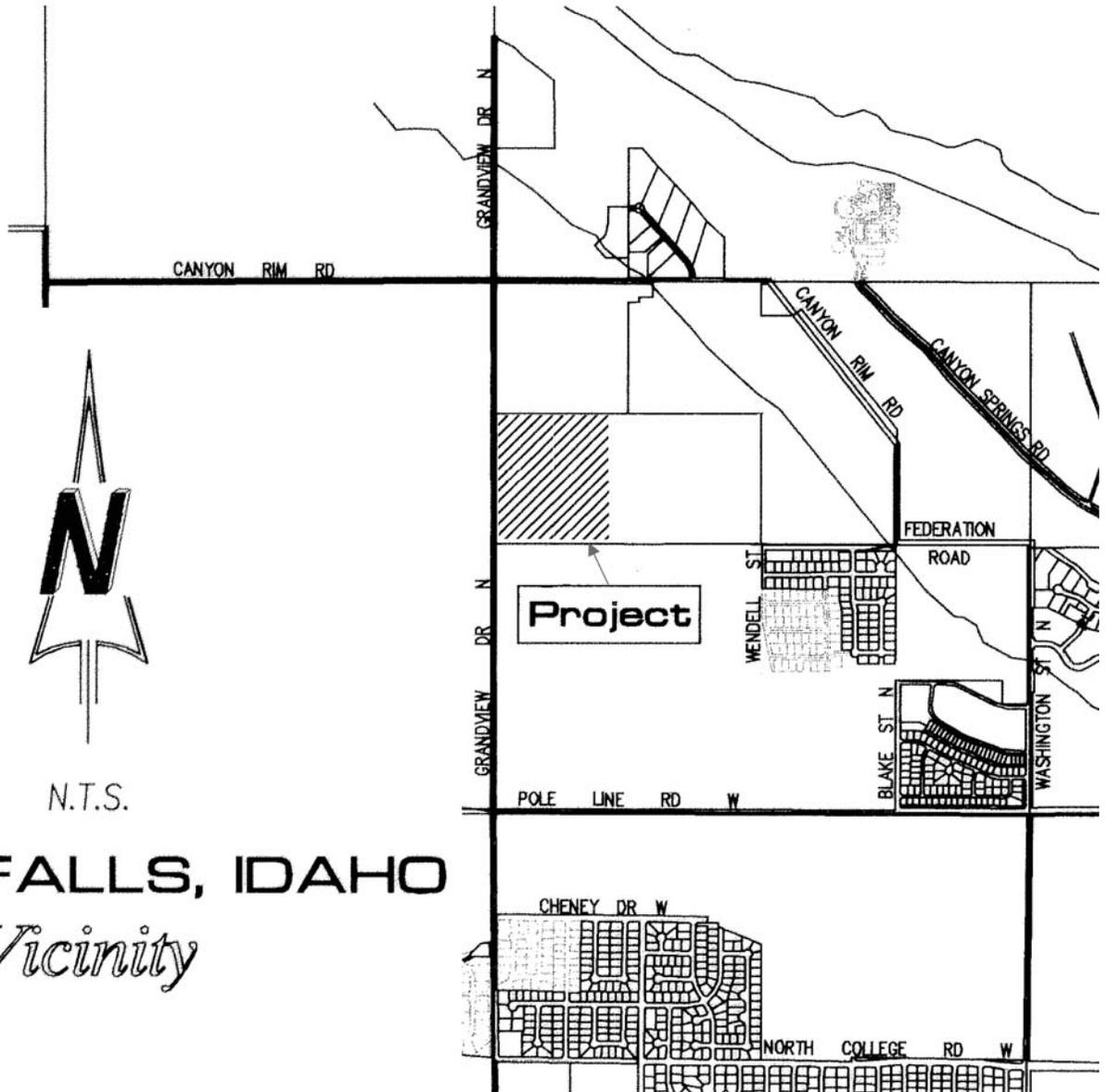
Note: In the case of an agreement between the Initial Developer and Subsequence Developer, item #10 iii and iv will not be required and a lump sum will be included.

Additional Notes:

- There will be no consideration for depreciation or inflation.
- Improvements must be accepted by the City of Twin Falls to be eligible for reimbursement.
- The period of compensation to the initial developer shall be terminated at the earliest of any of the following conditions:
  - Full compensation for the determined eligible reimbursement amount based on the actual cost plus 15% to address costs for engineering, management, fees, interest and inspection.
  - Failure on the part of the initial developer or their assigns to maintain proper identity and address on file with the Improvement Reimbursement Commission.
  - A date twenty years after the acceptance of the improvement by the City.
- Disclaimer: City of Twin Falls and Improvement Reimbursement Committee approvals determines eligibility and benefit. All quantities and calculations are the responsibility of the applicant therefore any errors are not the liability of the City of Twin Falls or the Improvement Reimbursement Committee.

# Federation Road Extension Northern Passage #3 & #5

Vicinity Sketch NTS



TWIN FALLS, IDAHO  
*Vicinity*

# Exhibit 3

**Federation Road Extension  
Twin Falls School District  
201 Main Avenue West  
Twin Falls, Idaho 83301**

**To: City of Twin Falls  
Engineering Department  
Twin Falls, Idaho**

**Reference: Improvement Reimbursement Narrative  
Project: Federation Road Extension**

The Twin Falls School District (TFSD) as part of their Rock Creek Elementary School Project within the Northern Passage Subdivision 5 completed the extension of Federation Road located in Northern Passage Subdivision 3 and 5 connecting the new school project to the future Canyon Trails Subdivision 6 phase #2 to provide access to this area of development from the east. Their project is located east of Grandview Drive North on Federation Road. The TFSD contracted with ESI Contractors, Inc. to complete this section of roadway in addition to the improvement of Grandview Drive North and Federation adjacent to the TFSD new school. The cost of these improvements was covered by a change order under the main contract for the Rock Creek Elementary School project. This change order covered the entire cost of the Federation Extension. A portion of the change order was complete on the roadway south of the center line or property boundary of the Northern Passage Subdivision. This portion on the Grandview Estates Subdivision is not included in this application due to the fact Grandview Estates Subdivision had already completed other improvements benefitting the TFSD project previously.

The roadway project was completed in the fall of 2015. The City of Twin Falls has approved and accepted the Federation Road Extension project for maintenance on June 14, 2016.

We have reviewed the City Ordinance Number 2974 to determine which of these improvements would be eligible for future reimbursement.

## Water Distribution System

The extension required an extension of the Water Distribution system to the outside of the roadway project and was capped for future connection. The portion to the south of the center line of Federation Road is deducted from the contract amount.

## Wastewater Collection System

The extension required an extension of the Wastewater Collection system to the outside of the roadway project and was capped for future connection. The portion to the south of the center line of Federation Road is deducted from the contract amount.

## Transportation System

Federation Road was built starting at east boundary of the Elementary School project located on Lot 59 Northern Passage 5 along the south frontage of Federation Road and

proceeding approximately 700 lf east to the intersection of Columbia Drive and Federation Road. A full ½ street with curb, gutter and sidewalk was constructed on the north side of the right of way. This will benefit the property on the north side of Federation Road.

#### Pressurized Irrigation Pump Station and Distribution System

No Pressurized Irrigation system was included in this project.

#### Gravity Irrigation Distribution System

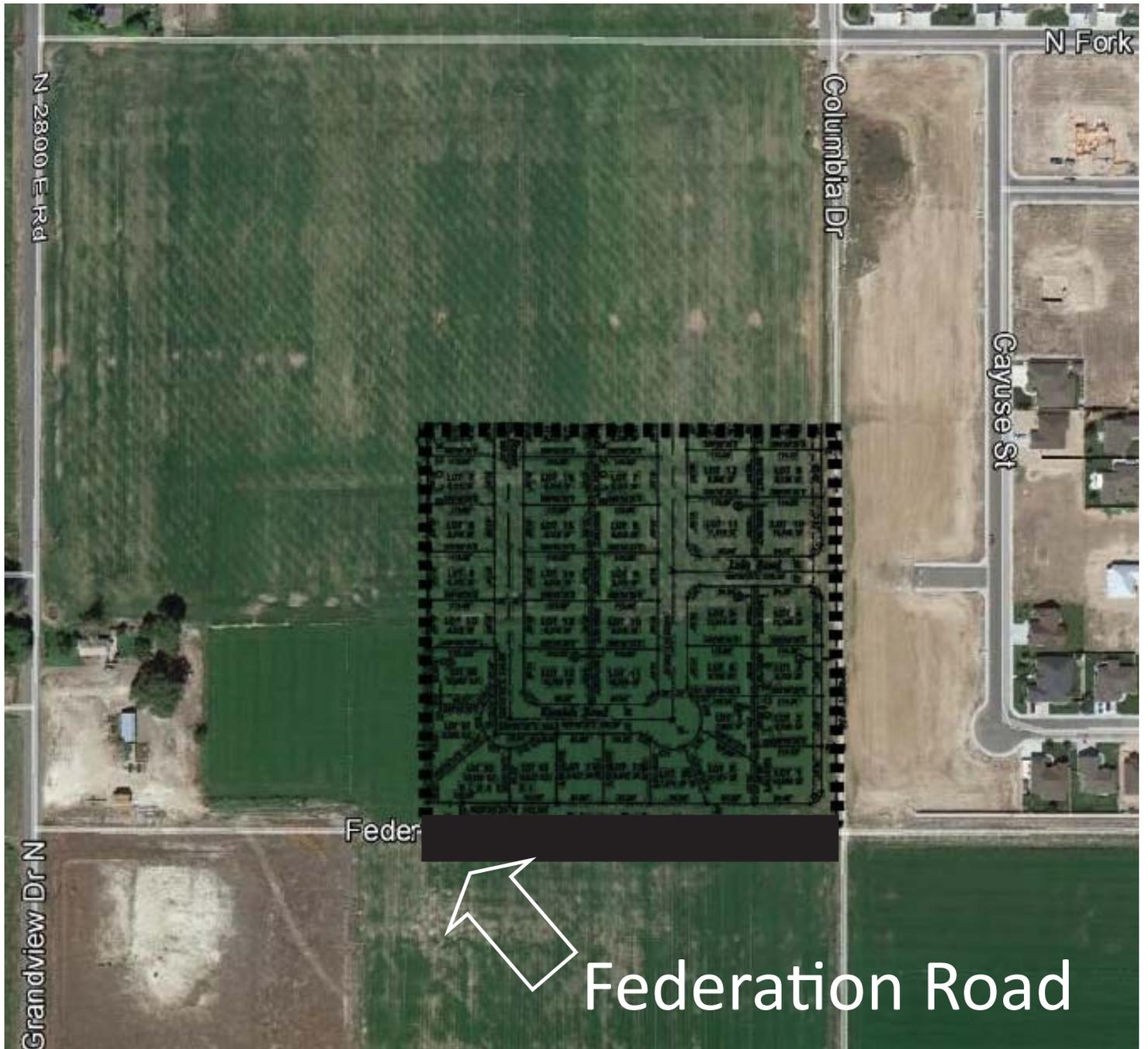
Gravity Irrigation is not eligible for reimbursement within Twin Falls City Code. The entire cost of the gravity irrigation work was deducted from the contract amount.

#### Additional Note

Twin Falls City Code states the actual cost of the improvements are eligible for reimbursement so the soft cost such as Engineering, Overhead and Profit and Bond Cost are deducted from the contract amount. These soft code as to be covered by the 15% reimbursement fee.

# Federation Road Extension Northern Passage #3 & #5

Boundary and Area of Benefit of Project NTS



4/18/2016

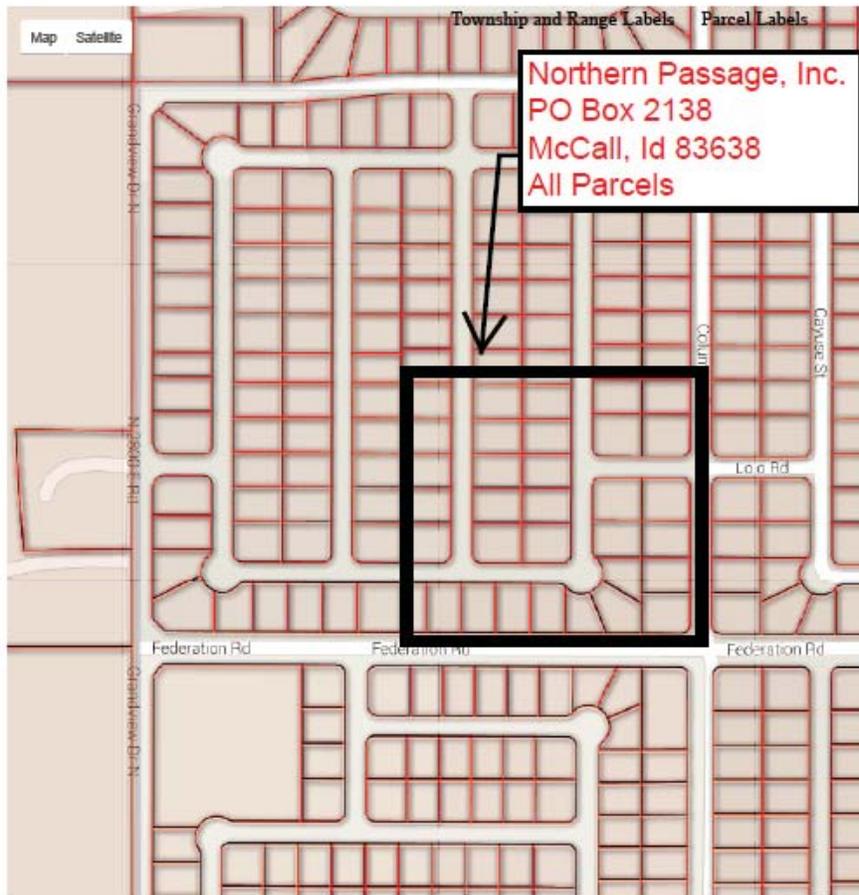
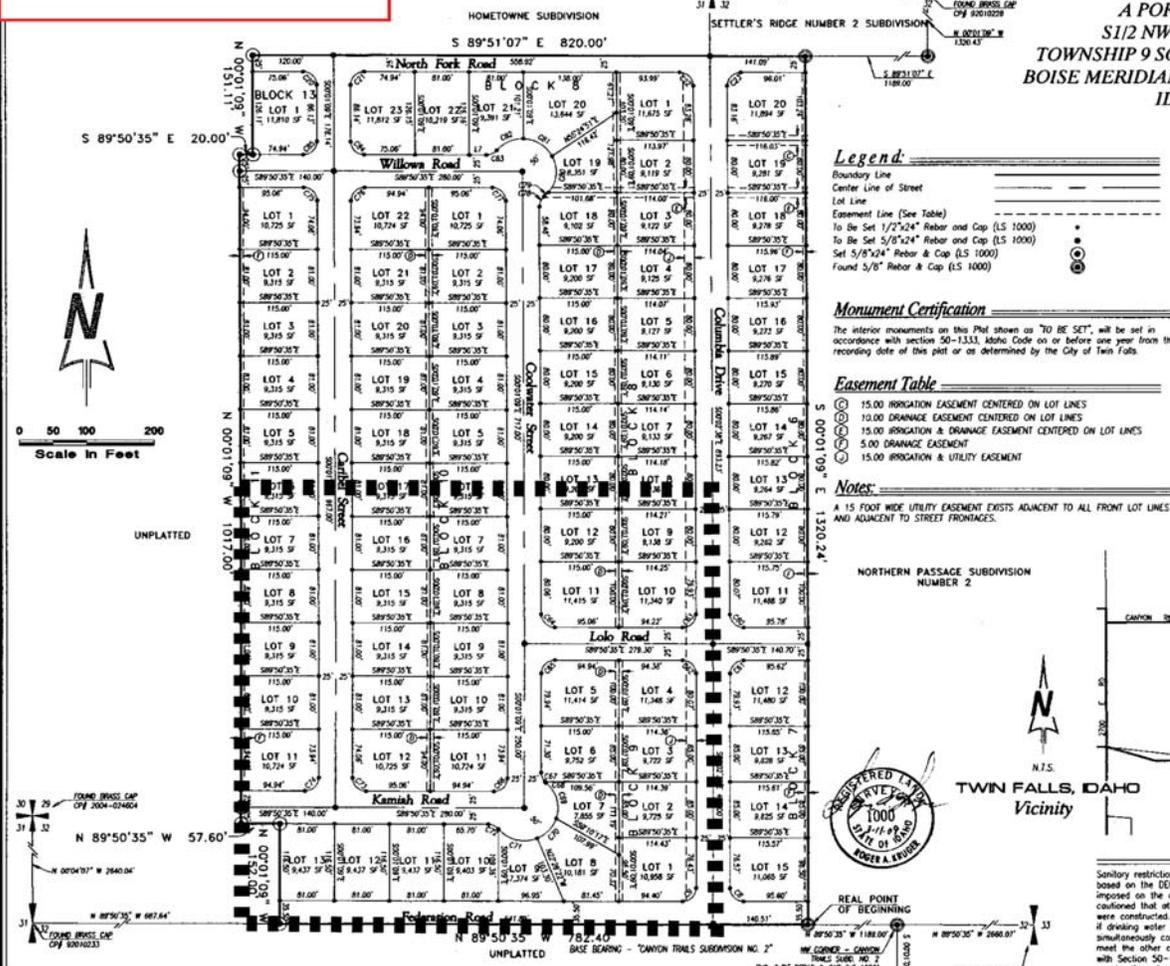


EXHIBIT 6 -2			
Ownership		Northern Passage, Inc.	
All 38 Lots		PO Box 2138	
		McCall, Idaho 83638	
Northern Passage 5			
Lot	Block	Address	RPT
60	51	2143 CARIBEL ST	RPT38860510600A
61	51	2127 CARIBEL ST	RPT38860510610A
62	51	795 KAMIAH RD	RPT38860510620A
63	51	783 KAMIAH RD	RPT38860510630A
Northern Passage 3			
Lot	Block	Address	RPT
8	8	2201 COLUMBIA DR	RPT38840080080A
9	8	2193 COLUMBIA DR	RPT38840080090A
10	8	714 LOLO RD	RPT38840080100A
11	8	730 LOLO RD	RPT38840080110A
12	8	2192 COOLWATER ST	RPT38840080120A
13	8	2202 COOLWATER ST	RPT38840080130A
1	9	2113 COLUMBIA DR	RPT38840090010A
2	9	2127 COLUMBIA DR	RPT38840090020A
3	9	2141 COLUMBIA DR	RPT38840090030A
4	9	713 LOLO RD	RPT38840090040A
5	9	729 LOLO RD	RPT38840090050A
6	9	2140 COOLWATER ST	RPT38840090060A
7	9	2130 COOLWATER ST	RPT38840090070A
8	9	737 KAMIAH RD	RPT38840090080A
9	9	743 KAMIAH RD	RPT38840090090A
10	9	755 KAMIAH RD	RPT38840090100A
11	9	771 KAMIAH RD	RPT38840090110A
6	10	2203 COOLWATER ST	RPT38840100060A
7	10	2191 COOLWATER ST	RPT38840100070A
8	10	2179 COOLWATER ST	RPT38840100080A
9	10	2167 COOLWATER ST	RPT38840100090A
10	10	2155 COOLWATER ST	RPT38840100100A
11	10	758 KAMIAH RD	RPT38840100110A
12	10	774 KAMIAH RD	RPT38840100120A
13	10	2158 CARIBEL ST	RPT38840100130A
14	10	2170 CARIBEL ST	RPT38840100140A
15	10	2182 CARIBEL ST	RPT38840100150A
16	10	2194 CARIBEL ST	RPT38840100160A
17	10	2204 CARIBEL ST	RPT38840100170A
6	11	2205 CARIBEL ST	RPT38840110060A
7	11	2195 CARIBEL ST	RPT38840110070A
8	11	2183 CARIBEL ST	RPT38840110080A
9	11	2171 CARIBEL ST	RPT38840110090A
10	11	2159 CARIBEL ST	RPT38840110100A

# EXHIBIT 7-1

## NORTHERN PASSAGE SUBDIVISION NUMBER 3

LOCATED IN  
A PORTION OF THE  
S1/2 NW1/4, SECTION 32  
TOWNSHIP 9 SOUTH, RANGE 17 EAST,  
BOISE MERIDIAN, TWIN FALLS COUNTY  
IDAHO 2009



**Legend:**  
Boundary Line  
Center Line of Street  
Lot Line  
Easement Line (See Table)  
To Be Set 1/2" x 24" Rebar and Cap (LS 1000)  
To Be Set 5/8" x 24" Rebar and Cap (LS 1000)  
Set 5/8" x 24" Rebar & Cap (LS 1000)  
Found 5/8" Rebar & Cap (LS 1000)

**Curve Table**

CURVE	DELTA	LENGTH	RADIUS	TANGENT	CHORD	CHORD BRG
C01	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C02	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C03	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C04	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C05	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C06	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C07	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C08	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C09	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C10	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C11	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C12	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C13	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C14	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C15	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C16	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C17	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C18	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C19	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C20	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C21	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C22	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C23	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C24	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C25	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C26	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C27	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C28	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C29	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C30	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C31	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C32	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C33	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C34	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C35	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C36	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C37	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C38	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C39	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C40	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C41	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C42	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C43	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C44	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C45	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C46	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C47	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C48	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C49	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"
C50	88.427°	31.35	20.00	18.93	28.23	S45°36'36.71"

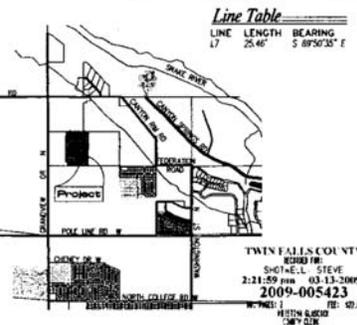
**Monument Certification**  
The interior monuments on this Plat shown as "TO BE SET", will be set in accordance with section 50-1333, Idaho Code on or before one year from the recording date of this plat or as determined by the City of Twin Falls.

**Easement Table**

15.00 IRRIGATION EASEMENT CENTERED ON LOT LINES
10.00 DRAINAGE EASEMENT CENTERED ON LOT LINES
15.00 IRRIGATION & DRAINAGE EASEMENT CENTERED ON LOT LINES
5.00 DRAINAGE EASEMENT
15.00 IRRIGATION & UTILITY EASEMENT

**Notes:**  
A 15 FOOT WIDE UTILITY EASEMENT EXISTS ADJACENT TO ALL FRONT LOT LINES AND ADJACENT TO STREET FRONTS.

NORTHERN PASSAGE SUBDIVISION NUMBER 2



TWIN FALLS, IDAHO  
Vicinity

**HEALTH CERTIFICATE**  
Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on the IDE approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water or sewer/septic facilities were constructed. Shaking construction can be allowed with appropriate building permits if drinking water or sewer facilities have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities or meet the other conditions of IDE, then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

Date: 3-11-09  
District Health Department, REHS

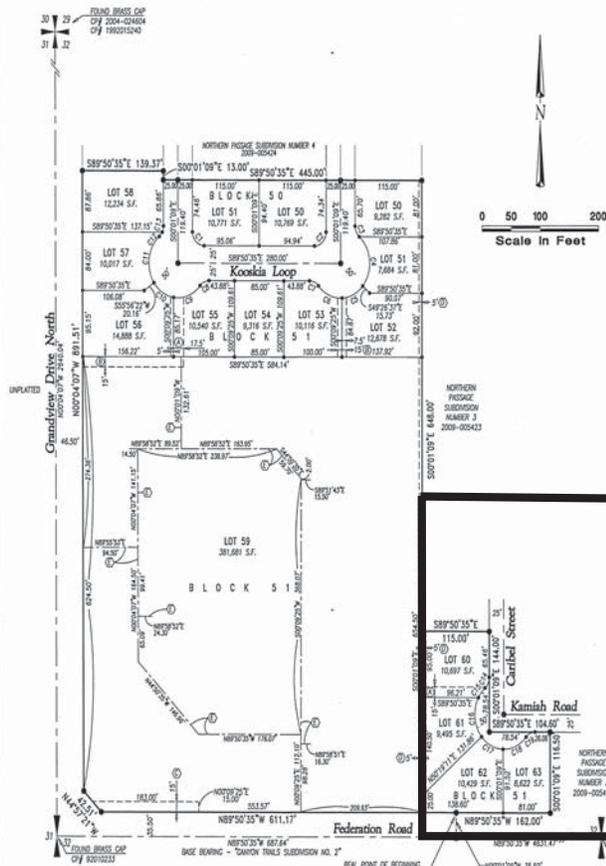
**Engineers, Inc.**  
ENGINEERS/SURVEYORS/PLANNERS

NOTE: ALL LOTS ADJACENT TO NORTH FORK ROAD OR FEDERATION ROAD SHALL BE ONLY ACCESSED FROM WILLOW ROAD OR KAMISH ROAD RESPECTIVELY.

# EXHIBIT 7-2

## NORTHERN PASSAGE SUBDIVISION NUMBER 5

LOCATED IN  
 A VACATED PORTION OF "NORTHERN PASSAGE SUBDIVISION NUMBER 3"  
 AND  
 A VACATED PORTION OF "NORTHERN PASSAGE SUBDIVISION NUMBER 4"  
 IN  
 A PORTION OF THE  
 SW 1/4 NW 1/4, SECTION 32  
 TOWNSHIP 9 SOUTH, RANGE 17 EAST,  
 BOISE MERIDIAN, TWIN FALLS COUNTY, IDAHO  
 2015



**Legend:**

Boundary Line	—————
Center Line of Street	—————
Lot Line	—————
Easement Line (See Table)	—————
Centerline (See Table)	—————
Set 1/2" x 24" Rebar and Cap (LS 10110)	●
Set 5/8" x 24" Rebar and Cap (LS 10110)	○
Found 5/8" Rebar & Cap (LS 1000)	○

**Curve Table**

CURVE	DELTA	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEG.	CHORD END.
C1	89°49'25"	31.35'	20.00'	19.94'	28.24'	S44°55'52"E	
C2	90°10'34"	31.48'	20.00'	20.06'	28.33'	N45°04'08"E	
C3	49°59'42"	17.45'	20.00'	9.33'	16.90'	S25°02'58"E	
C4	90°54'12"	79.04'	50.00'	50.50'	71.06'	S04°43'44"E	
C5	48°44'08"	40.78'	50.00'	21.60'	39.66'	S63°35'28"W	
C6	67°51'56"	46.13'	50.00'	24.85'	44.51'	N66°16'41"W	
C7	49°59'41"	17.45'	20.00'	9.33'	16.90'	N64°50'44"W	
C8	49°59'41"	17.45'	20.00'	9.33'	16.90'	S55°02'58"W	
C9	58°17'16"	51.16'	50.00'	28.07'	48.55'	S39°38'32"W	
C10	47°09'23"	41.15'	50.00'	21.82'	40.00'	N57°30'19"W	
C11	84°02'10"	73.34'	50.00'	45.05'	66.94'	N07°57'28"E	
C12	2°16'56"	8.13'	20.00'	4.12'	8.07'	N38°20'11"E	
C13	28°43'05"	9.33'	20.00'	4.75'	9.24'	N13°20'24"E	
C14	49°59'41"	17.45'	20.00'	9.33'	16.90'	S24°58'41"W	
C15	21°07'58"	18.44'	50.00'	9.33'	18.34'	S39°24'35"W	
C16	68°17'24"	69.80'	50.00'	34.06'	56.30'	S55°25'07"E	
C17	48°44'12"	42.53'	50.00'	22.65'	41.26'	S64°02'50"E	
C18	51°25'15"	44.87'	50.00'	24.07'	41.38'	N65°52'21"E	
C19	49°59'42"	17.45'	20.00'	9.33'	16.90'	N65°09'34"E	

**Easement Table:**

⊕ Access & Utility Easement
⊙ Drainage & Utility Easement
⊙ Roadway & Utility Easement
⊙ Drainage Easement
⊙ Centerline 15' Wide Water Line Easement

**Notes**  
 A 15 FOOT WIDE UTILITY EASEMENT EXISTS ADJACENT TO ALL FRONT LOT LINES AND ADJACENT TO STREET FRONTS.  
 ALL RESIDENTIAL LOTS ADJACENT TO GRANDVIEW DRIVE NORTH OR FEDERATION ROAD SHALL ONLY BE ACCESSED FROM KOOKIA LOOP OR KAMIAH ROAD RESPECTIVELY.

**Health Certificate**  
 Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on the DEC approval of the design plans and specifications and the conditions imposed on the developer for continued protection of the sanitary restrictions. Bayer is cautioned that at the time of this approval, no drinking water or sewer/septic facilities were constructed. Building construction can be allowed with appropriate building permits if drinking water or sewer facilities have since been constructed or if the developer is constructing those facilities. If the developer fails to construct facilities or meet the other conditions of DEC, then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

3/31/15  
 Date: \_\_\_\_\_  
 REG, South Central Public Health District



TWIN FALLS COUNTY  
 EHM ENGINEERS  
 9:28:11 AM 05-01-2015  
 2015-006804  
 No. Pages: 3 Fee: \$ 13.00  
 KRISTINA GLASCOCK  
 County Clerk  
 Deputy: BRUNYER

**EHM Engineers, Inc.**  
 Engineers / Surveyors / Planners

SHEET 1 OF 3  
 245-14-B-771

CERTIFICATE OF OWNERS

This is to certify that the undersigned are the owners in fee simple of the following described property located in the Southwest quarter of the Northwest quarter of Section 32, Township 9 South, Range 17 East, Boise Meridian, Twin Falls County, Idaho. Said property being more specifically described as follows:

Commencing at the East quarter corner of said Section 32. Said point lies South 89°50'35" East, 5319.11 feet from the West quarter corner of said Section 32. Thence, North 89°50'35" West, 4631.47 feet along the South boundary of the North half of Section 32 to the Southwest corner of "Northern Passage Subdivision Number 3". Thence, North 07°01'09" West, 35.50 feet along the West boundary of "Northern Passage Subdivision Number 3" to a point on the North right of way of Federation Road being the REAL POINT OF BEGINNING.

- Thence, North 89°50'35" West, 611.17 feet along said right of way.
Thence, North 44°32'21" West, 42.51 feet to a point on the East right of way of Grandview Drive North.
Thence, North 07°04'07" West, 861.51 feet along said right of way to the Southwest corner of Lot 10, Block 13 of "Northern Passage Subdivision Number 4".
Thence, South 89°50'35" East, 139.37 feet along the South boundary of Lot 10, Block 13 of "Northern Passage Subdivision Number 4" to the Southeast corner thereof.
Thence, South 07°01'09" East, 13.00 feet along the West right of way of Anaska Street.
Thence, South 89°50'35" East, 445.00 feet to the Southeast corner of Lot 21, Block 11 of "Northern Passage Subdivision Number 4".
Thence, South 07°01'09" East, 648.00 feet along the West boundary of "Northern Passage Subdivision Number 3" to the Southwest corner of Lot 10, Block 11 of "Northern Passage Subdivision Number 3".
Thence, South 89°50'35" East, 115.00 feet along the South boundary of Lot 10, Block 11 of "Northern Passage Subdivision Number 3" to the Southeast corner thereof and a point on the West right of way of Corbel Street.
Thence, South 07°01'09" East, 144.00 feet along the West right of way of Corbel Street extended to a point on the South right of way of Kamiah Road.
Thence, South 89°50'35" East, 104.60 feet along the South right of way of Kamiah Road to the Northwest corner of Lot 11, Block 9 of "Northern Passage Subdivision Number 3".
Thence, South 07°01'09" East, 116.50 feet along the West boundary of Lot 11, Block 9 of "Northern Passage Subdivision Number 4" to the Southwest corner thereof and a point on the North right of way of Federation Road.
Thence, North 89°50'35" West, 182.00 feet along said right of way to the REAL POINT OF BEGINNING.

The gross area contained in this platted land as described is 13.178 acres.
It is the intention of the undersigned to, and they do hereby include said land in this plat. The undersigned by these presents dedicate to the public for public use forever the road rights of way as shown on this plat. The easements indicated on this plat are not dedicated to the public, but the right to use said easements is hereby perpetually reserved for public utilities and such other uses designated on this plat. No structure other than for such utility and other designated public uses are to be erected within the lines of said easements.

Pursuant to Idaho Code 50-1334, I, the undersigned, as owner, do hereby state that the lots on this plat are eligible to receive water service from the City of Twin Falls Municipal Water System.

Pursuant to Idaho Code 31-3805, I, the undersigned, as owner, do hereby state that the irrigation water rights appurtenant and the assessment obligation of the lands in this plat have not been transferred from said lands and that a satisfactory irrigation water delivery system is provided for and has been approved by the Twin Falls City Council. Lots within the subdivision will be entitled to water rights and will be obligated for assessments from the Irrigation District and/or Canal Company.

NORTHERN PASSAGE, INC. an Idaho Corporation

[Signature]
BY: STEVE R.J. SHAWWELL - Director

TWIN FALLS SCHOOL DISTRICT #411
A Governmental Subdivision of the State of Idaho, A Body Public and Corporate

[Signature]
BY: WILEY DUBOIS, PH. D. - Superintendent

TITLEFACT, INC., An Idaho Corporation as Trustee

[Signature]
BY: RICHARD B. STIVERS - President

ACKNOWLEDGMENT

STATE OF IDAHO }
COUNTY OF TWIN FALLS } ss

On this 20th day of February, 2015, at 3:16 P.M., before me, the undersigned, a Notary Public in and for said State, personally appeared Steve R. Shawwell, known to me to be the Director of NORTHERN PASSAGE, INC., an Idaho Corporation and acknowledged to me that the corporation executed the same. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

[Signature: Martha Johnson]
Notary Public
Twin Falls
Residing At
2/17/18
Commission Expires

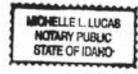


ACKNOWLEDGMENT

STATE OF IDAHO }
COUNTY OF TWIN FALLS } ss

On this 19th day of February, 2015, at 2:05 P.M., before me, the undersigned, a Notary Public in and for said State, personally appeared Wiley Dubois, PH. D., known to me to be the Superintendent of TWIN FALLS SCHOOL DISTRICT #411, and acknowledged to me that the Twin Falls School District #411 executed the same. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

[Signature: Michelle L. Lucab]
Notary Public
Twin Falls
Residing At
2-18-18
Commission Expires



ACKNOWLEDGMENT

STATE OF IDAHO }
COUNTY OF TWIN FALLS } ss

On this 19th day of February, 2015, at 9:00 A.M., before me, the undersigned, a Notary Public in and for said State, personally appeared Richard B. Stivers, known to me to be the President of TITLEFACT, INC., an Idaho Corporation and acknowledged to me that the corporation executed the same. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

[Signature: Nancy Tellez]
Notary Public
Jerome
Residing At
12/11/2017
Commission Expires



TWIN FALLS COUNTY
Boonville, ID
EDM ENGINEERS
9:28:12 AM 02-03-2015
2015-006804 Fee: \$33.00
No. Pages: 3 KRISTINA GLASCOCK
County Clerk
Deputy: BUCHSTER



CERTIFICATE OF SURVEYOR

This is to certify that L. Christopher S. Hornison, a Professional Land Surveyor in the State of Idaho, made the survey of the land described in the Certificate of Owners and that this plot is a true and accurate representation of said survey as made and staked under my supervision and direction.

Christopher S. Hornison  
P.L.S. 10110



APPROVAL OF CITY COUNCIL

This plot was accepted by the City Council of Twin Falls, Idaho at their meeting on the 9<sup>th</sup> day of February, 2015.

*Don Hall*  
Mayor

*Leila A. Jaines*  
City Clerk, Deputy

APPROVAL OF CITY ENGINEER

I have reviewed the accompanying plot and hereby certify that it conforms with the applicable ordinances of the City of Twin Falls, Idaho.

*James A. Frazier*  
City Engineer

*Kristi Tubing*  
Attest - Clerk

COUNTY SURVEYOR'S CERTIFICATE

This is to certify that the undersigned has checked the foregoing plot and computations for making the same and has determined that they comply with the laws of the State of Idaho and the County of Twin Falls related thereto.

Dated this 4<sup>th</sup> day of December, 2014.

*Richard H. Carlson* PLS 908  
Richard H. Carlson, Acting County Surveyor

ACKNOWLEDGMENT

STATE OF IDAHO } ss  
COUNTY OF TWIN FALLS }  
On this 4<sup>th</sup> day of December, 2014, at 9:30 a.m., before me, the undersigned, a Notary Public in and for said State, personally appeared Richard H. Carlson, personally known or identified to me to be the person whose name is subscribed to the foregoing certificate and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

*Rena Wood Belland*  
Notary Public  
Twin Falls  
Residing At  
June 11, 2015  
Commission Expires

COUNTY TREASURER'S CERTIFICATE

I, *Debbie Keuffman*, County Treasurer in and for the County of Twin Falls, Idaho per the requirements of Idaho Code 50-1308, do hereby certify that all County property taxes due for the property included in this plot have been paid in full. This certification is valid for the next thirty days only.

*Debbie Keuffman*  
County Treasurer

Date *April 30, 2015*

COUNTY RECORDER'S CERTIFICATE

INSTRUMENT NO. *2015-006804*  
STATE OF IDAHO }  
COUNTY OF TWIN FALLS } ss

On this 5<sup>th</sup> day of May, 2015, at 9:28 A.M., the foregoing plot was filed for record in the office of the Recorder of Twin Falls County, Idaho and duly recorded in plot book *24* on page *46*.

*Becky Hunter*  
Deputy

*Kristin Glascock*  
Ex-Officio Recorder

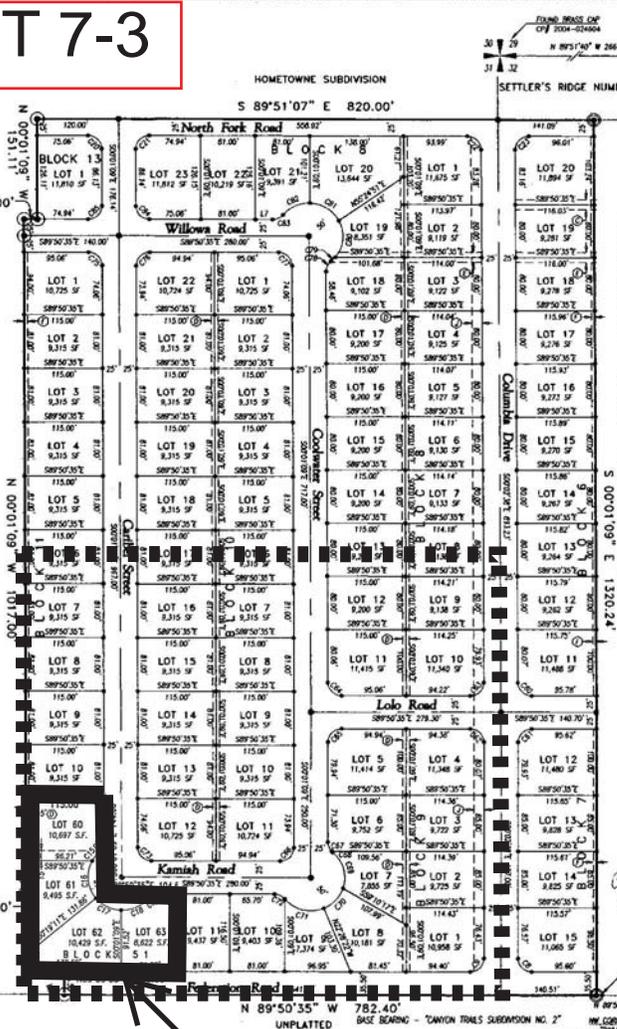
TWIN FALLS COUNTY  
Approved for:  
E.H.M. ENGINEERS  
938 E 2<sup>ND</sup> AVE. - 86-01-2015  
2015-006804  
No. Pages: 3 Fee: \$ 33.00  
KRISTINA GLASCOCK  
County Clerk  
Deputy: BEHUNTER

E.H.M. Engineers, Inc.  
Engineers / Surveyors / Planners

# EXHIBIT 7-3

## NORTHERN PASSAGE SUBDIVISION NUMBER 3

LOCATED IN  
A PORTION OF THE  
S1/2 NW1/4, SECTION 32  
TOWNSHIP 9 SOUTH, RANGE 17 EAST,  
BOISE MERIDIAN, TWIN FALLS COUNTY  
IDAHO 2009



**Legend:**  
Boundary Line  
Center Line of Street  
Lot Line  
Easement Line (See Table)  
To Be Set 1/2" x 24" Rebar and Cap (LS 1000)  
To Be Set 3/8" x 24" Rebar and Cap (LS 1000)  
Set 5/8" x 24" Rebar & Cap (LS 1000)  
Found 3/8" Rebar & Cap (LS 1000)

**Monument Certification**  
The interior monuments on this Plat shown as "TO BE SET", will be set in accordance with section 50-1333, Idaho Code on or before one year from the recording date of this plat or as determined by the City of Twin Falls.

**Easement Table**

15.00 IRRIGATION EASEMENT CENTERED ON LOT LINES
10.00 DRAINAGE EASEMENT CENTERED ON LOT LINES
15.00 IRRIGATION & DRAINAGE EASEMENT CENTERED ON LOT LINES
5.00 DRAINAGE EASEMENT
15.00 IRRIGATION & UTILITY EASEMENT

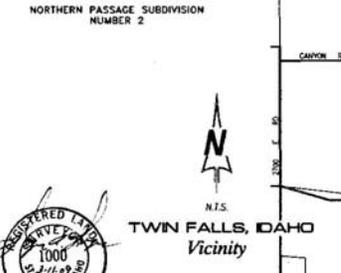
**Notes:**  
A 15 FOOT WIDE UTILITY EASEMENT EXISTS ADJACENT TO ALL FRONT LOT LINES AND ADJACENT TO STREET FRONTS.

**Curve Table**

CURVE	DELTA	LENGTH	RADIUS	TANGENT	CHORD	CHORD BRG
C08	88.232°	31.35	20.68	19.83	28.23	S44°36'26"E
C09	88.123°	31.49	20.50	20.07	28.33	S45°30'24"E
C20	88.320°	31.38	20.60	19.96	28.24	S44°36'26"E
C21	88.109°	31.47	20.60	20.08	28.33	S45°30'24"E
C22	88.229°	31.35	20.60	19.83	28.24	S44°36'26"E
C23	88.121°	31.49	20.50	20.07	28.33	S45°30'24"E
C24	88.320°	31.38	20.60	19.96	28.24	S44°36'26"E
C25	88.109°	31.47	20.60	20.08	28.33	S45°30'24"E
C26	88.229°	31.35	20.60	19.83	28.23	S44°36'26"E
C27	88.123°	31.49	20.50	20.07	28.33	S45°30'24"E
C28	88.320°	31.35	20.60	19.96	28.24	S44°36'26"E
C29	88.109°	31.48	20.60	20.08	28.33	S45°30'24"E
C30	88.324°	31.48	20.60	20.08	28.33	S45°30'24"E
C31	88.123°	31.49	20.50	20.07	28.33	S45°30'24"E
C32	88.320°	31.35	20.60	19.96	28.24	S44°36'26"E
C33	88.109°	31.48	20.60	20.08	28.33	S45°30'24"E
C34	88.229°	31.35	20.60	19.83	28.24	S44°36'26"E
C35	88.123°	31.49	20.50	20.07	28.33	S45°30'24"E
C36	88.320°	31.35	20.60	19.96	28.24	S44°36'26"E
C37	88.109°	31.48	20.60	20.08	28.33	S45°30'24"E
C38	88.229°	31.35	20.60	19.83	28.24	S44°36'26"E
C39	88.123°	31.49	20.50	20.07	28.33	S45°30'24"E
C40	88.320°	31.35	20.60	19.96	28.24	S44°36'26"E
C41	88.109°	31.48	20.60	20.08	28.33	S45°30'24"E
C42	88.229°	31.35	20.60	19.83	28.24	S44°36'26"E
C43	88.123°	31.49	20.50	20.07	28.33	S45°30'24"E
C44	88.320°	31.35	20.60	19.96	28.24	S44°36'26"E
C45	88.109°	31.48	20.60	20.08	28.33	S45°30'24"E

**Line Table**

LINE	LENGTH	BEARING
L7	25.46'	S 89°50'35" E



**HEALTH CERTIFICATE**  
Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on the DEO approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water or sewer/septic facilities were constructed. Building construction can be allowed with appropriate building permits if drinking water or sewer facilities have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities or meet the other conditions of DEO, then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.  
Date: 3-11-09  
District Health Department, REHS

**Engineers, Inc.**  
ENGINEERS/SURVEYORS/PLANNERS

**Northern Passage 5**



GENERAL CONTRACTORS & CONSTRUCTION MANAGERS

3330 E Louise Dr Ste 300, Meridian, ID 83642
Phone (208) 362-3040 FAX (208) 362-3113
www.esiconstruction.com

CHANGE ORDER REQUEST #004

Owner: TWIN FALLS SCHOOL DISTRICT NO. 441
201 MAIN AVE WEST
TWIN FALLS, ID 83301

Date: 6/18/15

ESI Project No.: F014-

Project: ROCK CREEK ELEMENTARY SCHOOL - TWIN FALLS, ID
850 FEDERATION ROAD
TWIN FALLS, ID 83301

Reference: PR-02 dated 4/28/15 Federation Road
Improvements

PR-02 dated 4/28/15 Federation Road Improvements

1. Federation Road Extension: Provide a cost associated with extending the north side of Federation Road, east from the school property edge to Columbia tie-in. See attached sheets C-3, C-4, C-5 and narrative from the Civil Engineer.

2. Accessible Ramps: Provide a cost associated with adding the double accessible ramps. See attached sheets C-3, C-4, C-5 and narrative from the Civil Engineer.

Table with 3 columns: Item Number, Vendor Name, and Estimated Cost. Items include Riedesel Engineering (4,500.00), Idaho Sand & Gravel (112,857.65), and ESI (49,576.45).

Total Estimated Cost of Included Items: 166,934.10

4.0000 % - OH & P: 6,677.37

0.6000 % - Bond: 1,041.67

Total CHANGE ORDER REQUEST 004 : 174,653.14

- \* Following approval of this CHANGE ORDER REQUEST, a Change Order will be submitted to amend the Contract Sum and/or Contract Time as approved.
\* Schedule Impact (0) Days
\* For breakdown on subcontract items, see attached proposals.
\* Additional Building Permit Fees are not included.

Acknowledged By: CONTRACTOR

CONSULTANT

OWNER

By: [Signature]
Title: PM

By: [Signature]
Title: HUMMEL - PM

By: [Signature]
Title: OWNERS REP

Date: 6/18/15

Date: 8/11/15

Date: 8/13/15

"Experience ... Service ... Integrity" OK'D BY BRADY 8/11/15 KF

# PROPOSAL REQUEST

Proposal Request No.: PR-0002-00

Date of Issue: 04/28/2015

Project: Rock Creek Elementary School

TO: ESI

HA Project No.: 14009



Boise:

2785 North Bogus Basin Road  
Boise, Idaho 83702  
phone: (208) 343-7523  
fax: (208) 343-0940

Twin Falls:

111 Shoshone Street North  
Suite # 201  
Twin Falls, ID 83301  
phone: (208) 735-5350  
[www.hummelarch.com](http://www.hummelarch.com)

---

***This is not a change Order nor a direction to proceed with the Work described herein!***

---

Provide an itemized quotation of the cost of the following changes to the Work. Include any required change in the contract time if applicable.

## DESCRIPTION

[Clayton Chaney (Hummel Architects)] 1) Federation Road Extension

Provide a cost associated with extending the north side of Federation Road, east from the school property edge to Columbia tie-in. See attached sheets C-3, C-4, C-5 and narrative from the Civil Engineer.

2) Accessible Ramps

Provide a cost associated with adding the double accessible ramps. See attached sheets C-3, C-4, C-5 and narrative from the Civil Engineer.

3) Well Design

Provide a cost associated with constructing the wells for the cooling system, see attached sheets W1 & W2.

---

FROM: Clayton Chaney, Hummel Architects PLLC

COPY TO: file.

## **PR-02 Rock Creek Elementary:**

### **Sheets C-3, C-4, C-5**

Double accessible ramps have been added at some curb returns shown on these sheets and detailed on sheet C-3. Those areas with added concrete and truncated domes are expected to add cost.

### **Sheet C-4**

Roadway improvements to the north half of Federation Road from the east of the school district's boundary to the centerline of Columbia Drive are being required by the City of Twin Falls. The private developer to the east of Columbia Drive centerline will construct his portion separately. Work will include curb, gutter and sidewalk along with gravel base and paving to centerline on the north side of Federation including the curb return and ramp on the northwest corner of the intersection as well as the taper at the east end to centerline. Extension of the water main stubs outside of the paving area will be required. Work will also include installation of 120 linear feet of 16" diameter C-900 irrigation main, realignment of the ditch to the south and 300 feet of reconstruction of the ditch to the north to accommodate the lower pipe crossing elevation. Installation of the pipe to the invert elevations depicted on the plans are crucial.

### **Sheets W1 and W2**

Installation of the well source cooling system as depicted on these sheets.

## Marcia Ward

---

**From:** Keven Shreeve <kshreeve@Riedeseleng.com>  
**Sent:** Wednesday, May 06, 2015 2:33 PM  
**To:** Marcia Ward  
**Cc:** Aaron Wert; Jeff Russell; Karolee Sorenson  
**Subject:** RE: F014 Rock Creek Elem - PR-02 Pricing Reminder

Two-man survey crew: \$115/hr for 24 hours  
Surveyor: \$90/hr. for 12 hours  
Surveyor tech.: \$60 for 8 hours  
Administration: \$45 for 4 hours

Total \$4500

Please let me or Aaron know if you need anything else.

---

**From:** Marcia Ward [mailto:marciaward@esiconstruction.com]  
**Sent:** Wednesday, May 06, 2015 2:01 PM  
**To:** Keven Shreeve  
**Cc:** Aaron Wert; Jeff Russell  
**Subject:** RE: F014 Rock Creek Elem - PR-02 Pricing Reminder

How many hours and what rate did you figure the \$4500.00 at?

**From:** Keven Shreeve [mailto:kshreeve@Riedeseleng.com]  
**Sent:** Wednesday, May 06, 2015 1:55 PM  
**To:** Marcia Ward  
**Cc:** Aaron Wert  
**Subject:** RE: F014 Rock Creek Elem - PR-02 Pricing Reminder

Marcia,

Not sure how you want this presented/transmitted but please accept this email as our request for additional compensation for surveying services for the Federation Road extension.

Construction staking of the roadway improvements, curb and gutter, and utilities will be performed for \$4500.

Thank you.

Keven Shreeve  
Riedesel Engineering

---

**From:** Marcia Ward [mailto:marciaward@esiconstruction.com]  
**Sent:** Tuesday, May 05, 2015 10:11 AM  
**To:** Donnie Smith; 'Covey, Larry (Idaho Sand & Gravel)'; 'Andrew Campbell'; 'ryan muchow'; Keven Shreeve  
**Cc:** Scott Tidwell; Jeff Russell  
**Subject:** F014 Rock Creek Elem - PR-02 Pricing Reminder  
**Importance:** High



**IDAHO SAND & GRAVEL COMPANY**  
The Preferred Source

Nampa - 924 North Sugar Street \* P.O. Box 1310 \* Nampa, Idaho 83653-1310 \* Phone 208-466-5001 \* Fax 208-466-5166  
Twin Falls - 391 East 300 South \* Jerome, Idaho 83338 \* Phone 208-324-5100 \* Fax 208-324-5111  
ISPW # 11916-AAA-1-2 Oregon # 142640 Nevada # 0054829

Sand & Rock Products • Concrete • Asphalt • Paving • Construction • Earthwork • Hauling

## Cost Component Summary Report

<b>Project Name:</b> Rock Creek School PR-02	<b>Customer:</b> ESI
<b>Job Number:</b>	<b>Billing Address:</b> 3330 E. Louise Dr., Ste #300
<b>Bid As:</b>	Meridian, ID 83642
<b>Estimator:</b> Lcovey	<b>Phone:</b> 362-3040
<b>Project Address:</b>	<b>Contact:</b>
<b>Completion Date:</b>	

### Crew

Crew Name	Total Quantity	UM	Average Unit Cost	Total Cost
Back-Hoe	1.97	DY	\$1,329.51	\$2,617.47
Base Gravel Under Asphalt	0.58	DY	\$1,762.26	\$1,015.41
Clear & Grubb	0.68	DY	\$4,606.82	\$3,132.64
Concrete Prep.	3.47	DY	\$1,703.00	\$5,902.61
Finish Grading	3.77	DY	\$2,004.15	\$7,553.87
Paving - Custom	0.51	DY	\$5,424.74	\$2,754.10
Scraper Exc To Waste	1.55	DY	\$4,530.92	\$7,036.97
Sidewalk Prep.	1.50	DY	\$1,822.26	\$2,741.38
Trackhoe CAT325	5.37	DY	\$1,854.00	\$9,958.64
<b>Total:</b>				\$42,713.09

### Labor

Labor Type	Total Quantity	UM	Average Unit Cost	Total Cost
Blade Operator	86.44	HR	\$38.94	\$3,366.29
Crew Foreman	191.73	HR	\$39.21	\$7,518.15
Excavator Operator	43.76	HR	\$34.75	\$1,520.63
Finish Roller	49.88	HR	\$32.29	\$1,610.67
Grade-Checker	37.69	HR	\$31.92	\$1,202.96
Grademan-Laborer	105.93	HR	\$27.69	\$2,933.19
Laborer	19.69	HR	\$27.93	\$549.89
Loader Operator - 4 Cy To 7 Cy	41.51	HR	\$33.31	\$1,382.95
Paver Operator	6.09	HR	\$36.61	\$223.01
Raker	6.09	HR	\$29.24	\$178.15
Scraper Operator	31.06	HR	\$34.50	\$1,071.50
Screedman	12.18	HR	\$36.90	\$449.58
Sm. Back-Hoe,Grade Tractor - Up To 3/4 Cy	19.69	HR	\$33.67	\$662.87
Water Truck	15.53	HR	\$32.21	\$500.19
<b>Total:</b>				\$23,170.04

### Equipment

Equipment Name	Total Quantity	UM	Average Unit Cost	Total Cost
Backhoe - Case 580 Backhoe	15.75	HR	\$40.00	\$630.00
Grade Tractor	33.52	HR	\$40.00	\$1,340.67
Grader - CAT 14H Motor Grader	6.80	HR	\$63.75	\$433.50

Equipment Name (continued)	Total Quantity	UM	Average Unit Cost	Total Cost
Grader - Cat 163 Grader	68.40	HR	\$45.00	\$3,078.04
Loader - CAT 966/950 Loader	31.20	HR	\$60.00	\$1,872.00
Paver - Cat 1055 Paver	5.08	HR	\$120.00	\$609.23
Roller - CA25 Single Grade Roller	19.88	HR	\$50.00	\$994.08
Roller - CR32 Sm. Asphalt Roller	5.08	HR	\$75.00	\$380.77
Roller - SD100 Single Grade Roller	17.38	HR	\$50.00	\$869.06
Roller - SD105 Med. Asphalt Roller	5.08	HR	\$50.00	\$253.85
Scraper - CAT 615 Scraper	12.42	HR	\$112.00	\$1,391.58
Scraper - CAT 623 Scraper	19.22	HR	\$150.00	\$2,883.72
Trackhoe - CAT 325 Trackhoe	45.77	HR	\$70.00	\$3,204.00
Water - 3500 Gallon Water Truck	45.79	HR	\$35.00	\$1,602.57
<b>Total:</b>				\$19,543.06

## Miscellaneous

Miscellaneous	Total Quantity	UM	Average Unit Cost	Total Cost
01--VFOH Expense- Grade Crew	7.00	DY	\$550.00	\$3,850.00
01--VFOH Expense- Pave Crew	1.00	DY	\$800.00	\$800.00
Allowance - Compressor Rental	1.00	EACH	\$365.00	\$365.00
Dump Fee (Budget)	50.40	CY	\$1.00	\$50.40
Water - Budget	850.00	MGAL	\$2.50	\$2,125.00
<b>Total:</b>				\$7,190.40

## Material

Material Type	Total Quantity	UM	Average Unit Cost	Total Cost
1-1/2" Road Base (ISG Jerome- Stutzman Pit)	1,111.00	TON	\$11.50	\$12,776.50
3/4" Road Base (Twin Falls Area) (ISG Jerome- Stutzman Pit)	288.00	TON	\$8.25	\$2,376.00
8" C900 And Caps	60.00	LF	\$14.31	\$858.60
Concrete	4.50	CY	\$125.00	\$562.50
Gravity Irrigation - 16" C-905	128.16	LF	\$38.16	\$4,890.59
Jerome- 3/4" PMX COTF 230074 (ISG - Jerome)	330.00	TON	\$73.00	\$24,090.00
Pit Run	60.00	TON	\$4.75	\$285.00
Precast Irrigation Boxes	4.00	EACH	\$0.00	\$0.00
Rebar	0.10	TON	\$1,272.00	\$127.20
<b>Total:</b>				\$45,966.39

## Trucking

Description	Total Quantity	UM	Average Unit Cost	Total Cost
Trucking - Super Single - Owned	60.00	TON	\$0.00	\$0.00
Trucking-Double Belly - Owned	60.00	TON	\$0.00	\$0.00
Trucking-End Dump - Owned	257.40	LCY	\$2.26	\$582.68
Trucking-End Dump - Owned	60.00	TON	\$1.28	\$77.00
Trucking-End Dump/Pup - Owned	60.00	TON	\$8.45	\$506.88
Trucking-Single Belly - Owned	1,387.00	TON	\$4.05	\$5,623.69
Trucking-Transfers - Owned	462.00	TON	\$3.79	\$1,748.79
Trucking-Tub Dump - Owned	60.00	TON	\$0.00	\$0.00
<b>Total:</b>				\$8,539.03

OH + Profit @ 10%  
 " " @ 5%

\$1,000.00  
 \$4,850.36

\$112,857.65

# CHANGE PROPOSAL REQUEST

1.PROJECT <b>Rock Creek Elementary</b>	2.CONTRACTOR <b>ESI</b>	3.PROJECT NO. <b>F333F-014</b>	Change Proposal # <b>CI #1</b>
		5.CONTRACT NO:	6.PROPOSAL DATE <b>5/6/2015</b>

**DESCRIPTION OF CHANGE:**

PR-0002 Federation Road Extension

**COST SUMMARY**

**A. FOR CHANGE WORK DIRECTLY PERFORMED BY THE UNDERSIGNED CONTRACTOR**

1. Direct labor w/ labor fringes	\$	32,268.48
3. Materials and Equipment. Detailed quantities attached.	\$	14,471.00
4. Overhead & Fee @ 10% <i>First \$10,000</i>	\$	<i>1,000.00</i> 4,673.95
<i>5% Over \$10,000</i>		<i>1,836.97</i>
Time Extension Requested <b>10 working day</b>	\$	<del>51,413.42</del>

**B. For work to be performed by subcontractors, per proposals and detailed breakdowns**

*\$49,576.45*

1 SUBCONTRACTOR NAME	CATEGORY OF WORK	AMOUNT
None		

2 TOTAL SUBCONTRACTOR AMOUNT (INCLUDING SUB. OH&P):	\$	-
3 CONTRACTORS COMMISSION ON TOTAL SUBCONTRACTOR AMOUNT @ 5 PERCENT:	\$	-
CONTRACTORS BOND COST		
<b>C. TOTAL INCREASE OR DECREASE OF CONTRACT PRICE - (A8+B5)</b>	\$	<u>51,413.42</u>

**ESI CONCRETE**  
CONTRACTOR NAME  
**DONNIE SMITH**  
PRINTED NAME ON PROPOSAL

\_\_\_\_\_  
SIGNATURE / DATE

**ESI CONCRETE****Change Proposal Request #****CI #1****Date:** 6-May-15**Scope of change:**

PR-0002 Federation Road Extension

**LABOR**

Foreman	Hours	153.57	Labor Rate w/Fringe	\$ 35.00	5374.88
Carpenter	Hours	460.70	Labor Rate w/Fringe	\$ 30.00	13821.12
Laborer	Hours	153.57	Labor Rate w/Fringe	\$ 30.00	4607.04
Subsistence	Days	134.37	Geographical Rate	\$ 63.00	8465.44

<b>TOTAL LABOR COSTS INCLUDING LABOR FRINGES</b>	<b>\$32,268.48</b>
--	--------------------

**MATERIAL**

Material listed below or from attached detailed material sheets -	14471.00
---	----------

Other direct material not specifically included in detailed take-off - Consumables, etc.	0.00
--	------

Freight from vendor to job site if not already included in above material costs.	0.00
--	------

<b>TOTAL MATERIAL COSTS FOR CHANGE ORDER</b>	<b>\$14,471.00</b>
--	--------------------

**EQUIPMENT**

Equipment Description	Est Usage	Rate	0	0.00
-----------------------	-----------	------	---	------

Equipment Description	Est Usage	Rate	0	0.00
-----------------------	-----------	------	---	------

Equipment Description	Est Usage	Rate	0	0.00
-----------------------	-----------	------	---	------

Equipment Description	Est Usage	Rate	0	0.00
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Equipment Description	Est Usage	Rate	0	0.00
-----------------------	-----------	------	---	------

Equipment Description	Est Usage	Rate		0.00
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<b>TOTAL EQUIPMENT COSTS FOR CHANGE ORDER</b>	<b>0.00</b>
---	-------------



**Improvement Reimbursement Worksheet**

**Federation Road Extension**

Reference # **FR 1**

**Contact Information**

Name Brad Wills  
 Phone 208-420-0314  
 E-mail: [bradwills@cox.net](mailto:bradwills@cox.net)

**Project Information**

Cross Streets **Federation Road and Columbia Drive**  
 RPT # If Available Multiple RPT #s  
 Date of City's Approval 14-Jun-16

Date of Application: 1-Aug-16  
 Drawing Sheet # Exhibit 9

Description of Improvements Half Width Federation Road Extension Roadway Project

Description of Boundary 1/8th mile rule to North of Federation along frontage

Status of Property Undeveloped Platted Land

Method to determine Payback Percentage of Benefit based on area of platted lots to North

Engineering Department Notes Only	
Date Submitted	
Boundary Reviewed	
GIS Notes	
3rd Party Review	
Commission Approval	

Description	Item	Quantity	EA	Unit Price	Amount	Percentage	Balance
Per Contract	Roadway	Per Contract					\$ 174,653.14
		Deduct from Sht 8-4					\$ (36,222.01)
						<b>Subtotal</b>	\$ 138,431.13
						15%	\$ 20,764.67
						<b>Total</b>	\$ 159,195.80

Support Information			
Description	Reference #	Contractor	Notes
Per Contract			
Method of Percentage of Benefit			
Acreage within the 1/8 Mile Rule	Multiple Lots		

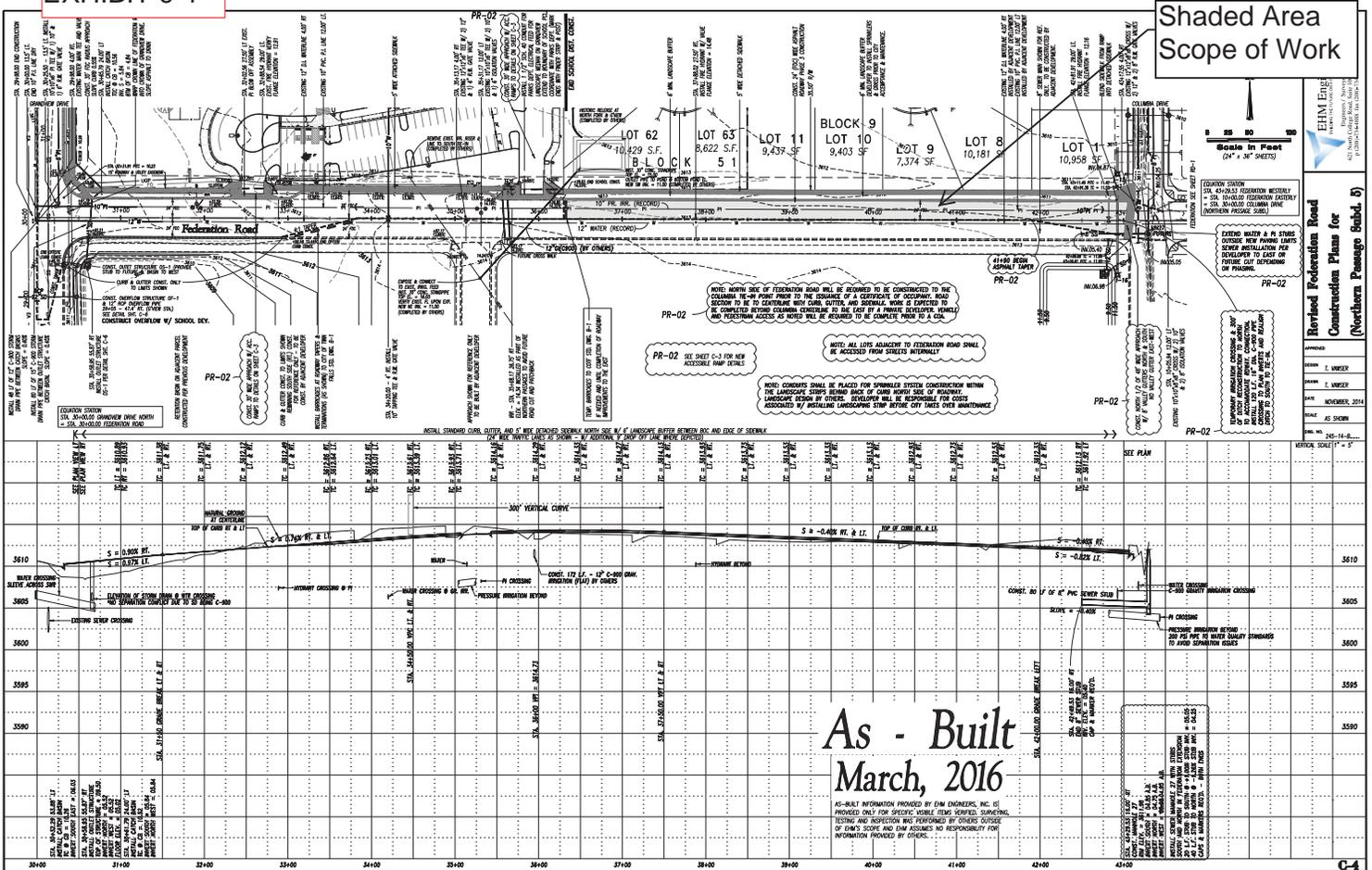
Eligible Payback				
Description	RPT #	Owner		Amount of Payback
Acreage within the 1/8 Mile Rule	See RPT List	Northern Passage, Inc.		\$ 159,195.80
		<b>Total</b>		\$ 159,195.80

Owner Information				
RPT #	Owner	Address	Phone #	Contacted
See RPT List	Northern Passage, Inc.	Box 2138, McCall, Idaho 83638		

Worksheet		Exhibit 8-3			
Roadway					
36+28.83	3628.83				
43+29.53	4329.53				
	700.70				
Split from Contract for work south of centerline					
Roadway					
43+29.53	4329.53				
41+90.00	4190.00				
	Length	Wide	SF		
	139.53	12	1674.36	9	186.04
	24' Wide	12' Ave			
Valley Gutter					
	Estimated				
	Width	Length	SF		
	8.00	24	192	9	21.33
Sewer Extension					
	Estimated				
Manhole	1.00				
8" Sewer	63.00				
Water Line Extension Estimated					
8" Water	20.00				
Irrigation					
Irrigation E	2.00				
16"	128.16				
	See Contract				

Federation Road Extension			Worksheet 8-4					
Deduct for Non Benefitting Work and Storm Water.								
Soft Cost such as Engineering, OH and P, Bond Cost are included in the 15%								
	Deduct		\$4,500.00					
	OH & P		\$6,677.37					
	Bond		\$1,041.67					
						\$12,219.04		
Storm Water								
120 LF of 16" C-900 Irrigation Main, Realignment of the Ditch to the south and 300 feet of Reconstruction of the ditch to the north.								
2 Irrigation Boxes								
C-900 16"	Pipe	130	\$ 35.00	\$ 4,550.00				
Irrigation Boxes		2	\$2,500.00	\$ 5,000.00				
Realignment	Minor	50	\$ 10.00	\$ 500.00				
Reconstruction of Ditch	Excavation	300	\$ 4.00	\$ 1,200.00				
						\$11,250.00		
Roadway								
	Station	1	\$ 685.00	\$ 685.00		See Sheet 9-2		
	3" Asphalt	186	\$ 14.80	\$ 2,752.80		1674	9	186
	2" 3/4" Gravel	10	\$ 39.00	\$ 403.00		1674	12*12*2/46656	10
	9" Base Course	47	\$ 35.00	\$ 1,627.50		1674	12*12*9/46656	47
	Valley gutter	21	\$ 104.00	\$ 2,218.67		192	9	21
						\$ 7,686.97		
Water Line								
	8" Water Line	20	\$ 44.00	\$ 880.00				
						\$ 880.00		
Sewer/Manholes								
	Manhole	1	\$2,800.00	\$ 2,800.00				
	8" Sewer Line	63	\$ 22.00	\$ 1,386.00				
						\$ 4,186.00		
						\$36,222.01		

**EXHIBIT 9-1**



**ENM Engineers, Inc.**  
 10000 Northern Passage Blvd., Suite 100  
 Houston, Texas 77037  
 Phone: 281-415-1100  
 Fax: 281-415-1101  
 Email: info@enm.com

**Revised Federation Road Construction Plans for (Northern Passage Subd. 5)**

DATE: NOVEMBER 2014  
 DRAWN BY: AS SHOWN  
 SCALE: 1" = 40'

**EXHIBIT 9-2**

EQUATION STATION  
STA. 43+29.53 FEDERATION WESTERLY  
= STA. 10+00.00 FEDERATION EASTERLY  
= STA. 30+00.00 COLUMBIA DRIVE  
(NORTHERN PASSAGE SUBD.)

Roadway  
Taper begins at 41+90.00 and ends  
at 43+29.53  
Centerline to Face of Curb 24'  
139.53' x 12' Ave. = 1674 sf

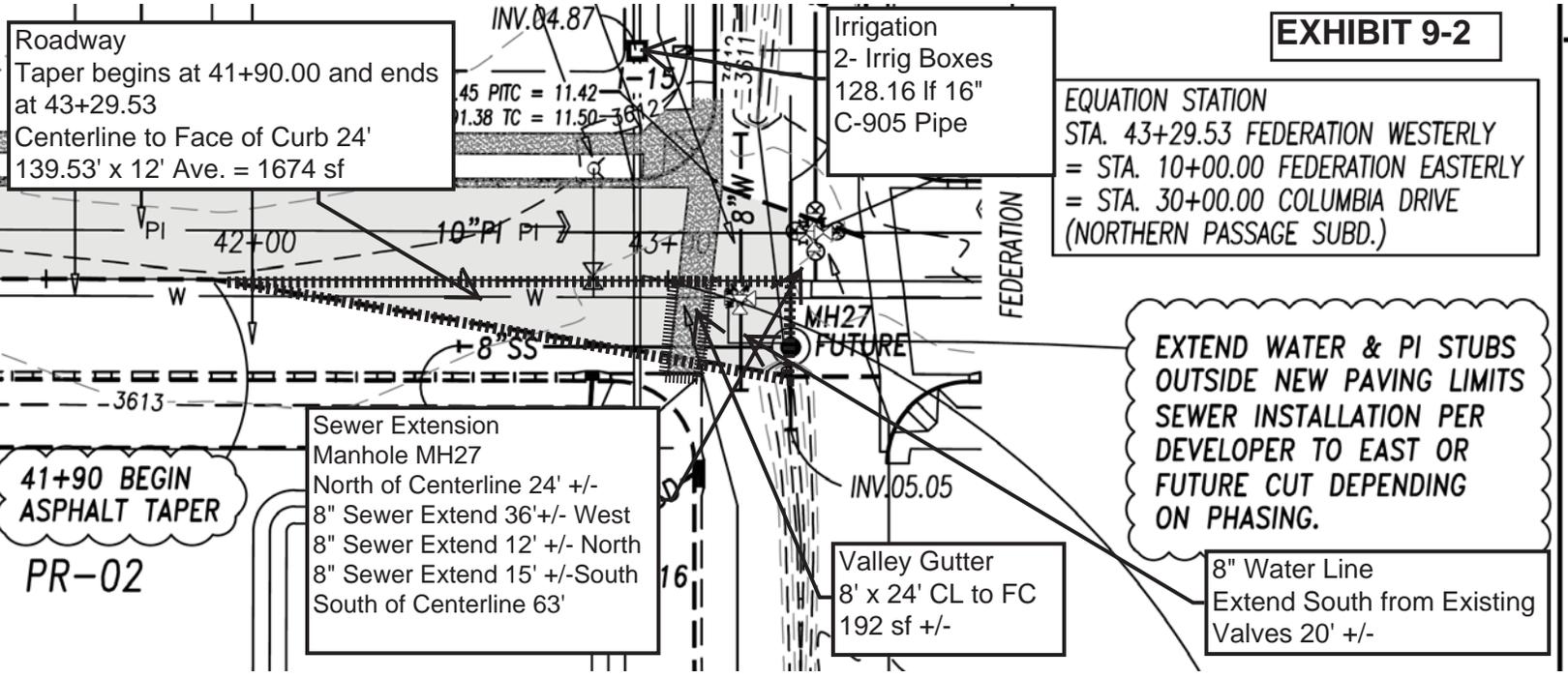
Irrigation  
2- Irrig Boxes  
128.16 lf 16"  
C-905 Pipe

Sewer Extension  
Manhole MH27  
North of Centerline 24' +/-  
8" Sewer Extend 36'+/- West  
8" Sewer Extend 12' +/- North  
8" Sewer Extend 15' +/- South  
South of Centerline 63'

Valley Gutter  
8' x 24' CL to FC  
192 sf +/-

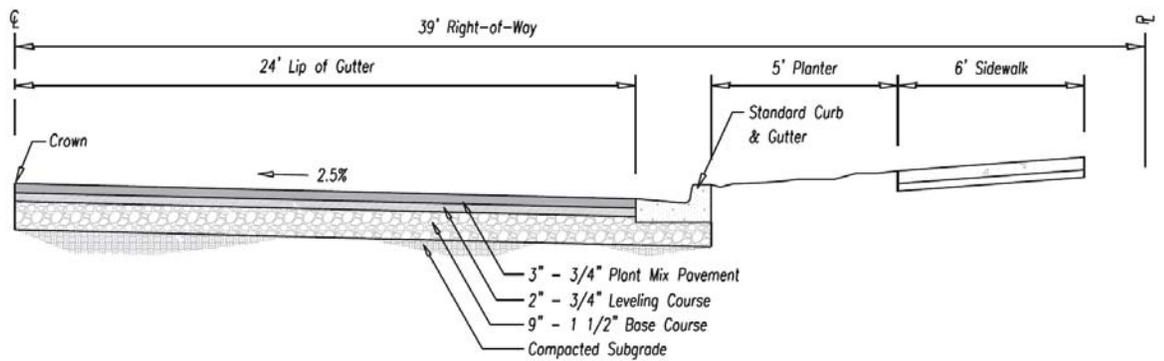
EXTEND WATER & PI STUBS  
OUTSIDE NEW PAVING LIMITS  
SEWER INSTALLATION PER  
DEVELOPER TO EAST OR  
FUTURE CUT DEPENDING  
ON PHASING.

8" Water Line  
Extend South from Existing  
Valves 20' +/-



41+90 BEGIN  
ASPHALT TAPER  
PR-02

# Exhibit 9-3



1

## TYPICAL ROADWAY SECTION

ROAD(S): FIELD STREAM WAY

This is to certify that the undersigned are the owners in fee simple of the following described property located in the Southwest quarter of the Northwest quarter of Section 32, Township 9 South, Range 17 East, Boise Meridian, Twin Falls County, Idaho. Said property being more specifically described as follows:

Commencing at the East quarter corner of said Section 32. Said point lies South 89°50'35" East, 5319.11 feet from the West quarter corner of said Section 32. Thence, North 89°50'35" West, 4631.47 feet along the South boundary of the North half of Section 32 to the Southwest corner of "Northern Passage Subdivision Number 3". Thence, North 00°01'09" West, 35.50 feet along the West boundary of "Northern Passage Subdivision Number 3" to a point on the North right of way of Federation Road being the REAL POINT OF BEGINNING.

Thence, North 89°50'35" West, 611.17 feet along said right of way.

Thence, North 44°57'21" West, 42.51 feet to a point on the East right of way of Grandview Drive North.

Thence, North 00°04'07" West, 891.51 feet along said right of way to the Southwest corner of Lot 10, Block 13 of "Northern Passage Subdivision Number 4".

Thence, South 89°50'35" East, 139.37 feet along the South boundary of Lot 10, Block 13 of "Northern Passage Subdivision Number 4" to the Southeast corner thereof.

Thence, South 00°01'09" East, 13.00 feet along the West right of way of Ahsahka Street.

Thence, South 89°50'35" East, 445.00 feet to the Southeast corner of Lot 21, Block 11 of "Northern Passage Subdivision Number 4".

Thence, South 00°01'09" East, 648.00 feet along the West boundary of "Northern Passage Subdivision Number 3" to the Southwest corner of Lot 10, Block 11 of "Northern Passage Subdivision Number 3".

Thence, South 89°50'35" East, 115.00 feet along the South boundary of Lot 10, Block 11 of "Northern Passage Subdivision Number 3" to the Southeast corner thereof and a point on the West right of way of Caribel Street.

Thence, South 00°01'09" East, 144.00 feet along the West right of way of Caribel Street extended to a point on the South right of way of Kamiah Road.

Thence, South 89°50'35" East, 104.60 feet along the South right of way of Kamiah Road to the Northwest corner of Lot 11, Block 9 of "Northern Passage Subdivision Number 3".

Thence, South 00°01'09" East, 116.50 feet along the West boundary of Lot 11, Block 9 of "Northern Passage Subdivision Number 4" to the Southwest corner thereof and a point on the North right of way of Federation Road.

Thence, North 89°50'35" West, 162.00 feet along said right of way to the REAL POINT OF BEGINNING.

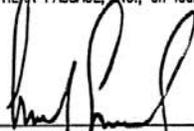
The gross area contained in this platted land as described is 13.178 acres.

It is the intention of the undersigned to, and they do hereby include said land in this plat. That the undersigned by these presents dedicate to the public for public use forever the road rights of way as shown on this plat. The easements indicated on this plat are not dedicated to the public, but the right to use said easements is hereby perpetually reserved for public utilities and such other uses designated on this plat. No structure other than for such utility and other designated public uses are to be erected within the lines of said easements.

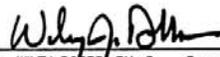
Pursuant to Idaho Code 50-1334, I, the undersigned, as owner, do hereby state that the lots on this plat are eligible to receive water service from the City of Twin Falls Municipal Water System.

Pursuant to Idaho Code 31-3805, I, the undersigned, as owner, do hereby state that the irrigation water rights appurtenant and the assessment obligation of the lands in this plat have not been transferred from said lands and that a satisfactory irrigation water delivery system is provided for and has been approved by the Twin Falls City Council. Lots within the subdivision will be entitled to water rights and will be obligated for assessments from the Irrigation District and/or Canal Company.

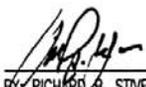
NORTHERN PASSAGE, INC., an Idaho Corporation

  
BY: STEVE R. SHOTWELL - Director

TWIN FALLS SCHOOL DISTRICT #411  
A Governmental Subdivision of the State of Idaho, A Body Politic and Corporate

  
BY: WILEY DOBBS, PH. D. - Superintendent

TITLEFACT, INC., An Idaho Corporation as Trustee

  
BY: RICHARD B. STIVERS - President



P.O. Box 1907 305 Third Avenue East

Twin Falls, Idaho 83303-1907

Fax: (208) 736-1501

**ENGINEERING**

**208-735-7255**

June 14, 2016

Tim Vawser  
EHM Engineer, Inc.  
621 N. College Rd- Suite 100  
Twin Falls, Id. 83301

REF: Northern Passage Subdivision #5  
Block 51, Lot 59 (Rock Creek Elementary School)

Dear Mr. Vawser,

The City of Twin Falls has field reviewed the above reference project and found that the Engineering requirements have been completed. Therefore the City of Twin Falls will accept these public improvements for maintenance upon today's date as well as the one-year warranty. Please keep in mind we will revisit this project 60 Day's prior to the anniversary of the warranty.

If you have any questions please feel free to contact me at 735-7255

Sincerely;

A handwritten signature in blue ink, appearing to read "G. Denton", with a horizontal line extending to the right.

Garry Denton  
Engineering Technician

Cc: Jackie Fields PE, City Engineer  
Troy Vitek PE, Assistant City Engineer  
Twin Falls School District #4  
ESI

To: City of Twin Falls Engineering Department  
Improvement Reimbursement Committee

Reference: Application for eligible improvements  
Off Site Sewer Project  
WS&V Subdivision First Amended Lot 1 Block 1  
Field Stream Apartments Limited Partnership  
Poleline Road, Latitude 42 project and Field Stream Way

- Please find enclosed the necessary completed forms and information required for this Application for consideration by the Improvement Reimbursement Committee.
- Listed below are the forms and exhibits explaining the requested reimbursements.

Project Name	Sewer Extension		
3/1/2016			
Documents & Exhibits			
	0		3rd Party Review
	1		Application
	2		Vicinity Map
	3		Narrative
	4		Boundary of Project
	5		Area of Benefit
	6	1	Current Ownership and Sections 1
		2	Service Area Worksheet
		3	Area Split
		4	Supporting Document Sunway Conveyance Plat
		5	Supporting Document Fieldstone Pro Sub
	7	1	Recorded Final Plat
	8	1	Contract Document for Actual Cost
		2 A	Master Payback Worksheet Part 1 A
		B	Master Payback Worksheet Part 1 B
		3	Master Payback Worksheet Part 2
		4	Master Payback Worksheet Part 3
	9	1	Full Set Construction Drawings
		2	Fieldstone Professional Subdivision Lot 4 Block 1
	10	1	Ownership Certification
	11	1	City of Twin Falls Approval Letter

# Exhibit 0

815 Yakima Ave.  
Filer, ID 83328  
208.420.9624  
Jd.hg.barnes@gmail.com

4/4/2016

City of Twin Falls  
Attn: Troy Vitek, P.E.  
324 Hansen St. E.  
Twin Falls, ID 83301

Dear Mr. Vitek,

Mr. Brad Wills retained my services to conduct a third party review of the submitted Improvement Reimbursement Application for the WS & V Subdivision First Amended Lot 1 Block 1, Offsite Sewer Project. After careful review it is my opinion that the application was completed professionally and the items, quantities, and associated costs successfully meet the intent of the City of Twin Falls adopted Ordinance #2974 and Resolution 1816.

Should the City have any questions regarding this review, please feel free to contact me at 208-420-9624 or [jd.hg.barnes@gmail.com](mailto:jd.hg.barnes@gmail.com).

Kind regards,

Hailey G. Barnes, P.E.



Attachments: Improvement Reimbursement Application: WS & V Subdivision First Amended Lot 1 Block 1

Cc: Brad Wills



## IMPROVEMENT REIMBURSEMENT APPLICATION

March 1, 2016

### OFF SITE SEWER PROJECT

Subdivision Name: WS & V Subdivision First Amended Lot 1 Block 1 Acres/Lots: 5.00 Acres/ 1 Lots

Subdivision Location: SW1/4 NE1/4, Section 6, Township 10 South, Range 17 East, Boise Meridian

Cross Streets: Field Stream Way and North College Road West

Initial Developer: The Housing Company Contact: Kathryn Almberg  
Field Stream, Inc.

Address/phone #: 565 West Myrtle, Boise, Idaho 83702 208-331-4711

Current Contact: The Housing Company Contact: Kathryn Almberg

Address/phone #: 565 West Myrtle, Boise, Idaho 83702 208-331-4711

Local Agent for Owner: Brad Wills, 222 Shoshone St. West, Twin Falls Idaho 83303-0346-208-420-0314

Property Owner: Field Stream Apartments Limited Partnership Contact: Kathryn Almberg

Address/phone #: 565 West Myrtle, Boise, Idaho 83702 208-331-4711

Engineering Firm: EHM Engineering Contact: Tim Vawser

Address/phone #: 621 North College Road Suite 100 Twin Falls, Idaho, 83301 208-734-4888

The City of Twin Falls adopted Ordinance Number 2974 and Resolution 1816 which allows developers to submit an application to the Improvement Reimbursement Committee (I.R.C.) of the City of Twin Falls if they wish to seek reimbursement for improvements for previously developed and accepted utilities and roadways that benefit future development. More specifically, whenever any extension is made by a private developer (initial developer) to the City of Twin Falls' (City) water distribution system, wastewater collection system, transportation system, pressure irrigation pump stations and distribution systems, in such a manner as to enable a subsequent private developer or property owner to connect to or extend the previously extended water distribution system, wastewater collection system, transportation system, pressure irrigation pump stations and distribution systems, the subsequent private developer or property owner (subsequent developers) shall first make proper compensation to the initial developer for the costs of the water distribution system, wastewater collection system, transportation system, pressure irrigation pump stations and distribution systems (improvements).

The initial developer must maintain proper identity and current address with the City Engineer in order to be eligible for proper compensation in the future.

The lists below identify the items that are required for submittal of the Improvement Reimbursement application.

Incomplete submittals will not be accepted or reviewed. It is the responsibility of Engineering firm and/or Developer/ Owner to see that all the required information is submitted to the City in the proper form.

Include the following information:

1. Improvement Reimbursement Application
2. A Narrative describing the project overview, the initial improvements, the surrounding areas that will benefit from the improvements, the boundary of the affected area, any known developers/owners that

will be included in this application and any other information that would be supportive to the commission.

3. Vicinity Map
4. Proof of past ownership of the real property included in this application.
5. AS-BUILT drawing on file with the City of Twin Falls Engineering Department of improvement.
6. The letter from the City Engineering Department approving the completion of the improvements and accepting the project for maintenance.
7. If required, an electronic GIS file indicating items subject to reimbursement.
8. A plan identifying all improvements proposed for compensation.
  - a. A separate plan for each of the individual reimbursement areas.
    - i. Include all four system for that area:
      1. water distribution system
      2. wastewater collection system
      3. transportation system
      4. pressure irrigation pump stations and distribution systems
    - ii. Identify the surrounding area that benefits from the improvements.
9. Each individual reimbursement area should include the following information;
  - i. Improvements for consideration
  - ii. The estimated boundary that will benefit from those improvements.
  - iii. Actual cost of installation
    1. Attach copy of original cost documents
    2. If costs are unavailable, other documentation per Ordinance guidelines
  - iv. Estimated proposed reimbursement

Filing Fee: \$ 200.00

Date Submitted: March 1, 2016

Fee per Lot, tract or parcel impacted \$ 10.00

Fee to be calculated after I. R. C. Approval

Application received by the City Engineering Department.

Date Reviewed by City Staff: \_\_\_\_\_

Date of Boundary Verification by Engineer Dept.: \_\_\_\_\_

Date of Notification to Improvement Reimbursement Commission: \_\_\_\_\_

Date Scheduled for Commission meeting: \_\_\_\_\_

Note: In the case of an agreement between the Initial Developer and Subsequence Developer, item #10 iii and iv will not be required and a lump sum will be included.

Additional Notes:

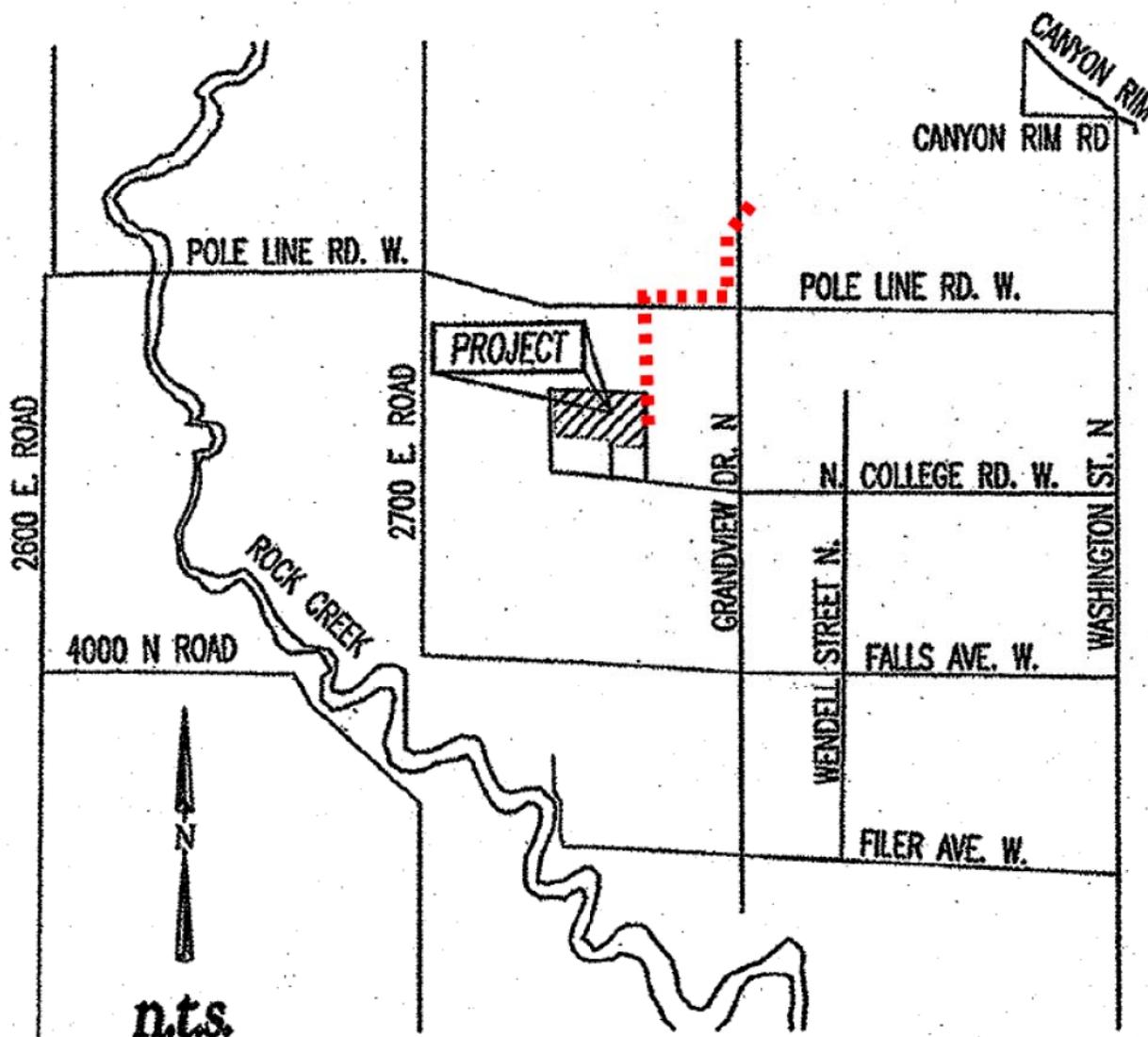
- There will be no consideration for depreciation or inflation.
- Improvements must be accepted by the City of Twin Falls to be eligible for reimbursement.
- The period of compensation to the initial developer shall be terminated at the earliest of any of the following conditions:
  - Full compensation for the determined eligible reimbursement amount based on the actual cost plus 15% to address costs for engineering, management, fees, interest and inspection.
  - Failure on the part of the initial developer or their assigns to maintain proper identity and address on file with the Improvement Reimbursement Commission.
  - A date twenty years after the acceptance of the improvement by the City.
- Disclaimer: City of Twin Falls and Improvement Reimbursement Committee approvals determines eligibility and benefit. All quantities and calculations are the responsibility of the applicant therefore any errors are not the liability of the City of Twin Falls or the Improvement Reimbursement Committee.

# Off Site Sewer Project WS&V Sub 1st Amended

Vicinity Sketch NTS

## Vicinity Sketch

n.t.s.



# Exhibit 3

Off Site Sewer Project  
The Housing Company  
565 West Myrtle  
Boise, Idaho 83702

To: City of Twin Falls  
Engineering Department  
Twin Falls, Idaho

Reference: Improvement Reimbursement Narrative  
Project: Off Site Sewer Project Field Stream Apartment

The Housing Company as part of their Field Stream Apartment Project within the WS&V Sub First Amended completed the offsite sewer project to provide sewer to this area of development. Their project is located north of North College Road on Field Stream Way. The Housing Company contracted with Doug McCoy Construction to complete the sewer line improvements for their project in Twin Falls, Idaho.

The sewer extension project was completed in the spring of 2015. The City of Twin Falls has approved and accepted the sewer extension project for maintenance on August 4, 2015.

We have reviewed the City Ordinance Number 2974 to determine which of these improvements would be eligible for future reimbursement.

## Wastewater Collection System

**Main Extension (ME)** serves the entire area basin south of Pole Line Road West and west of the Twin Falls Reformed Church and the original Fieldstone Subdivision. (Both of these projects connect to the existing wastewater collection system at a different location and do not benefit from this extension) The boundary to the west is Sunway Drive North being limited by elevation and the boundary to the south ends at the North College Road West where there is an existing sewer line. The cost of this portion of the extension will be calculated on a per acre pro rata share over the entire basin boundary.

The Main Extension includes:

This portion of the sewer extension project connected to the Grandview Sewer Trunk Line on Grandview Drive North approximately ¼ miles north of Pole Line Road West. After the connection to the Grandview Trunk Line, a 10" sewer line was installed across to the west side of Grandview Drive North proceeding south and includes 1,060 LF of 10" sewer line with four manholes within the existing right of way. The line then continued west and includes 1,330 LF of 10" sewer line with five manholes on the north right of way connecting to the existing Pole Line Road sewer line crossing. An existing 8" sewer line crossing was placed at the time of the Pole Line Road Project in 2011.

**Latitude 42 Section** is the portion connecting to the south end of the existing Pole Line Road West sewer line crossing continuing south and includes 697 LF of 8" sewer line and 305 LF of 10" sewer line with five manholes to the intersection of Cheney Drive West and Field Stream Way north of the planned subdivision. The sewer line crossed a canal lateral where a section of

93 LF of 42" gravity irrigation was installed. The 8" sewer line benefitted the entire length crossing Latitude 42 and is therefore responsibly for the cost.

**Lot 2 Block 1 WS&V and Lot 4 Block 1 Fieldstone Professional Subdivision** is the portion along the frontage on Field Stream Way beginning at their northern boundary continuing south and includes 267 LF of 8" sewer line with one manhole to their south boundary.

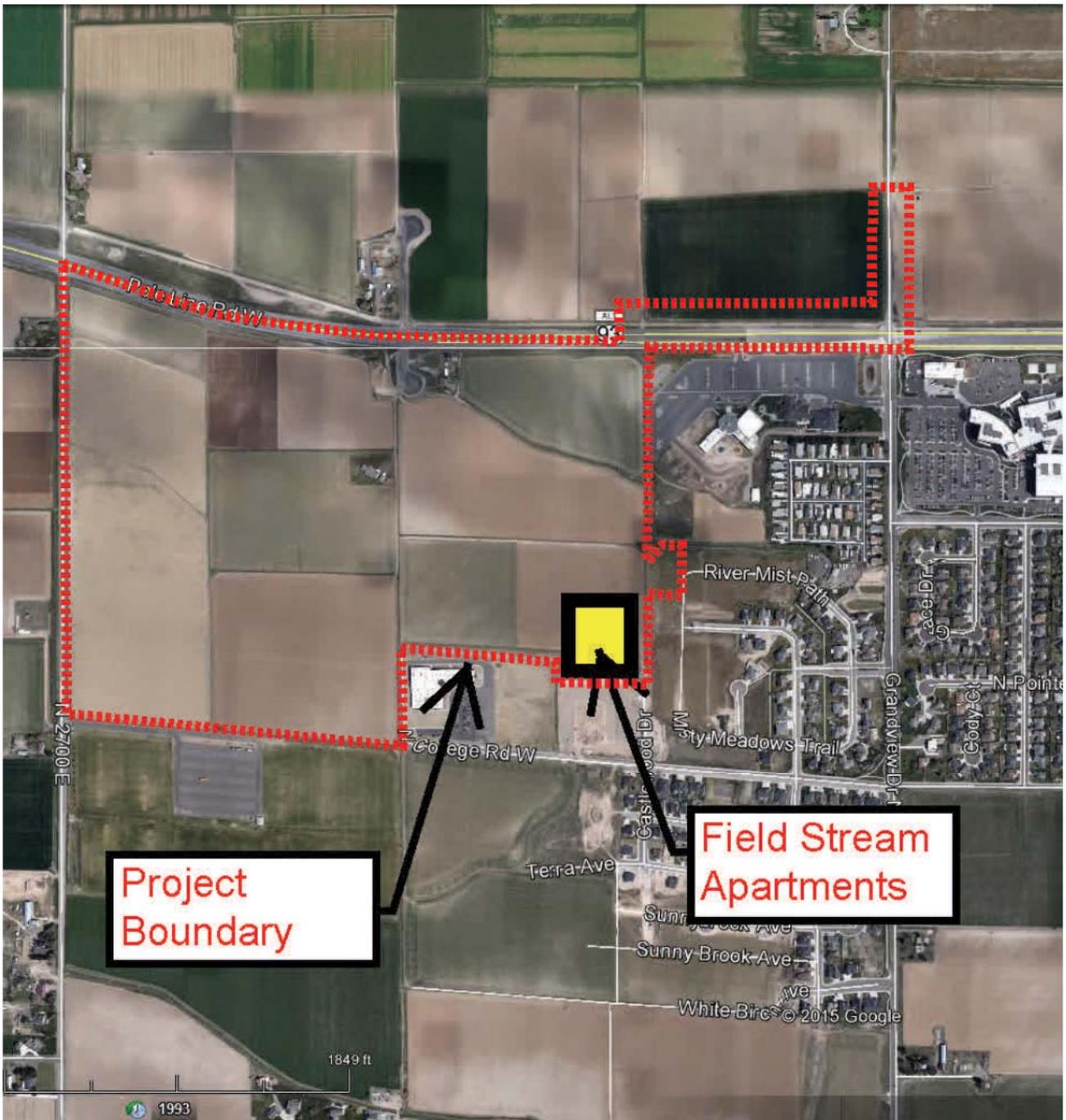
**Lot 1 Block 1 WS&V (Field Stream Apartments)** is the portion along the frontage on Field Stream Way beginning at their northern boundary continuing south and includes 314 LF of 8" sewer line with two manholes to their south boundary. This is the original developer of the sewer line extension and is included in the application to clarify the overall cost. (The property to the east doesn't benefit or connect to this sewer collection line and therefore isn't included.)

Water, Pressurized Irrigation or Transportation System

There were no improvements completed that would be eligible for future reimbursement.

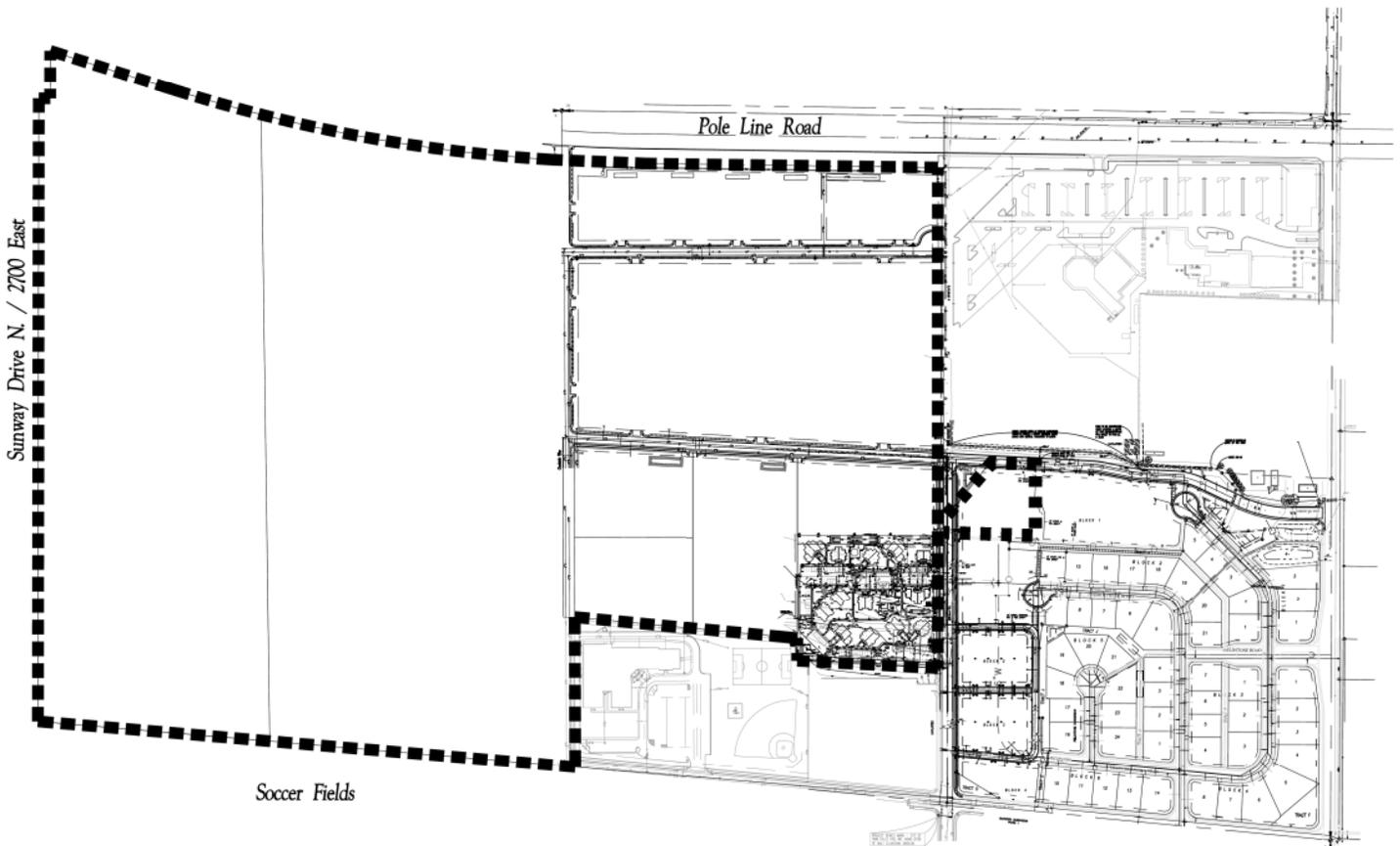
# Off Site Sewer Project WS&V Sub 1st Amended

Boundary of Project NTS



# Off Site Sewer Project WS&V Sub 1st Amended

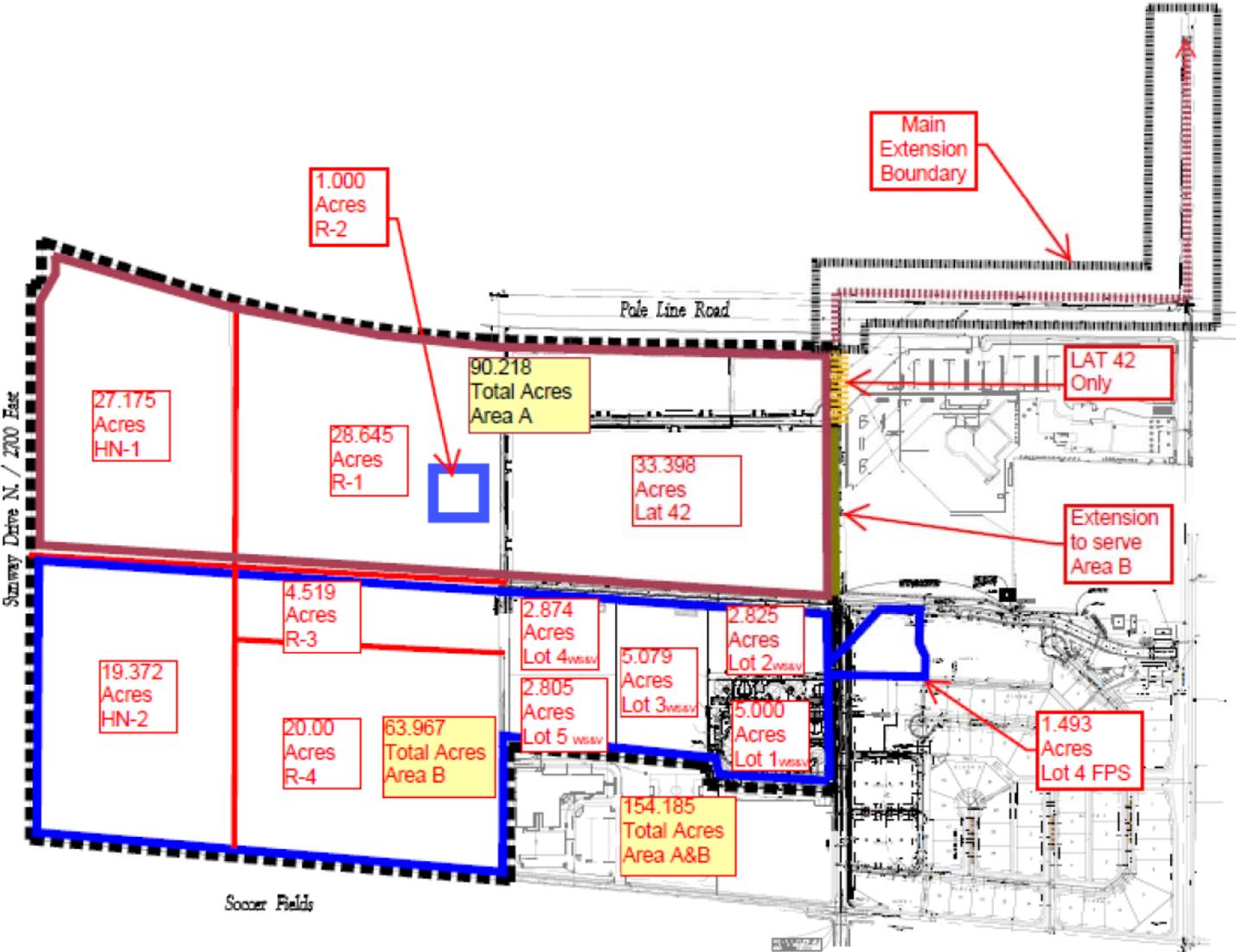
Area of Benefit NTS





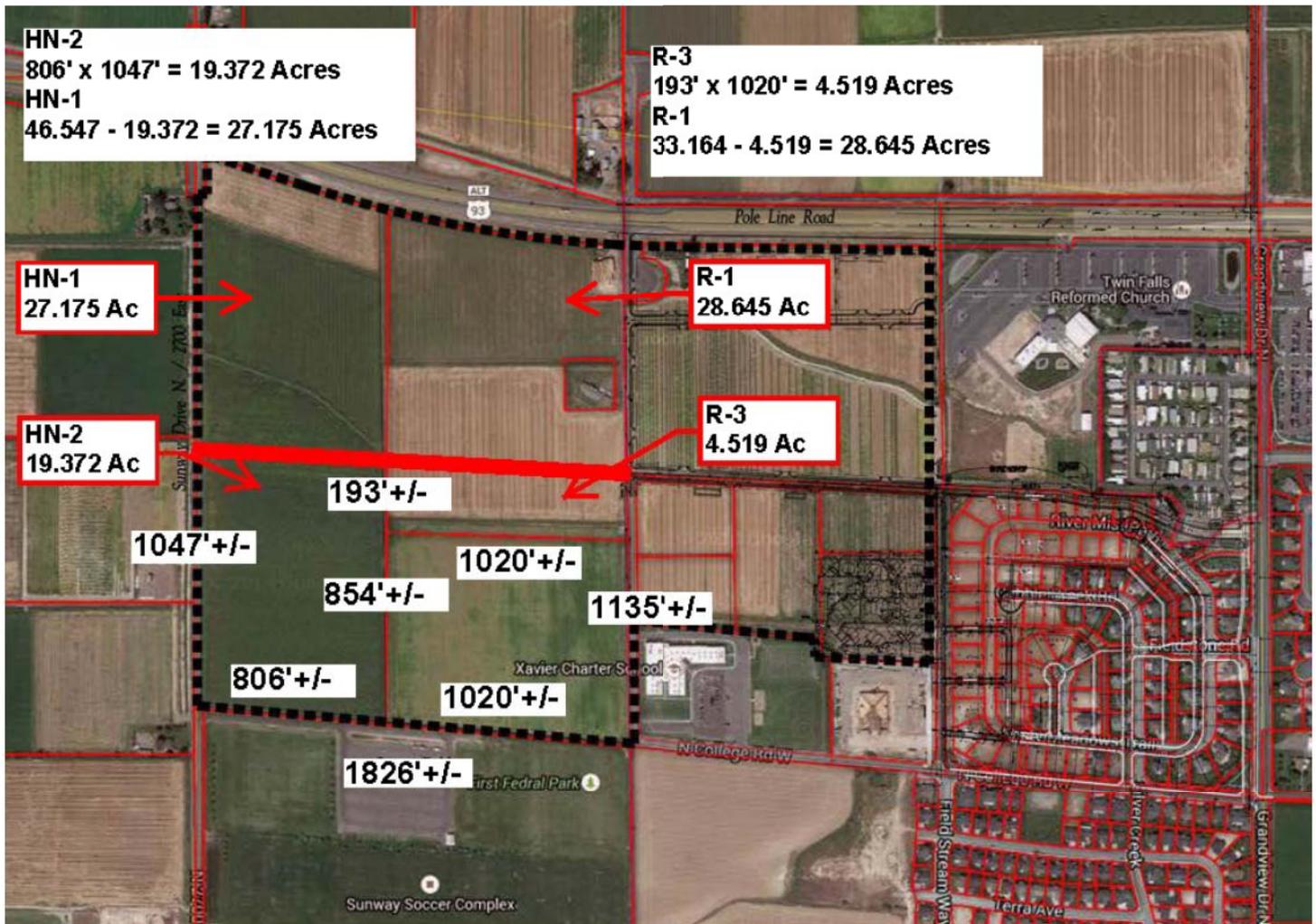
# Off Site Sewer Project WS&V Sub 1st Amended

## Service Area Worksheet NTS



# Off Site Sewer Project WS&V Sub 1st Amended

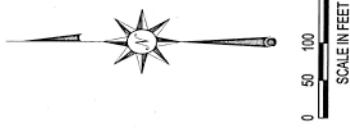
## Service Area Worksheet NTS Area Split



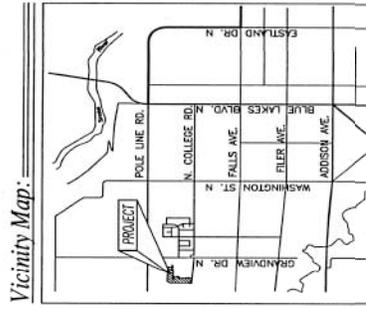


# Exhibit 6-4

**FIELDSTONE PROFESSIONAL SUBDIVISION**  
 a Planned Unit Development  
 of  
 "Fieldstone Subdivision First Amended"  
 and a Portion of  
 "Fieldstone Subdivision"  
 Located In  
 SE 4 NE 4, Section 6  
 Township 10 South, Range 17 East,  
 Boise Meridian,  
 Twin Falls County, Idaho  
 2015



**Notes:**  
 ALL LOTS IN BLOCKS 2, 3, & 4 SHALL HAVE ACCESS FROM RESIDENTIAL STREETS ONLY. ACCESS SHALL BE NO ACCESS FROM COLLECTORS OR MAINLINES WHERE LOTS HAVE MORE THAN ONE STREET FRONTAGE.  
 TRACTS B AND L SHALL BE RESERVED FOR DRAINAGE, RETENTION, FIRE PAIR, UTILITIES, & IRRIGATION AND SHALL BE OWNED AND MAINTAINED BY THE "FIELDSTONE HOMEOWNERS' ASSOCIATION".  
 TRACTS M SHALL BE RESERVED FOR DRAINAGE, RETENTION, FIRE PAIR, UTILITIES, & IRRIGATION AND SHALL BE OWNED AND MAINTAINED BY THE "FIELDSTONE PROFESSIONAL HOMEOWNERS' ASSOCIATION".



## Legend

- SUBDIVISION BOUNDARY LINE
- SECTION LINE
- UTILITY EASEMENT LINE
- UTILITY & IRRIGATION EASEMENT LINE
- CENTERLINE OF STREET
- PLATTED LOT LINE
- BRASS CAP
- FOUND 1/2" REBAR
- FOUND 3/8" REBAR
- FOUND 1/2" REBAR - SET 4'6" x 2"
- FOUND 1/2" REBAR & CAP (LS 1000)
- FOUND 3/8" REBAR & CAP (LS 1000)
- SET 1/2" x 1/4" REBAR & CAP (LS 1000)
- CALCULATED POINT (NOT SET)

TWIN FALLS COUNTY  
 Registered for:  
 354-431214 05-12-2015  
 2015-007506  
 N. AUSTIN S. GILGACOCK  
 County Clerk  
 Deputy: BRUNTER

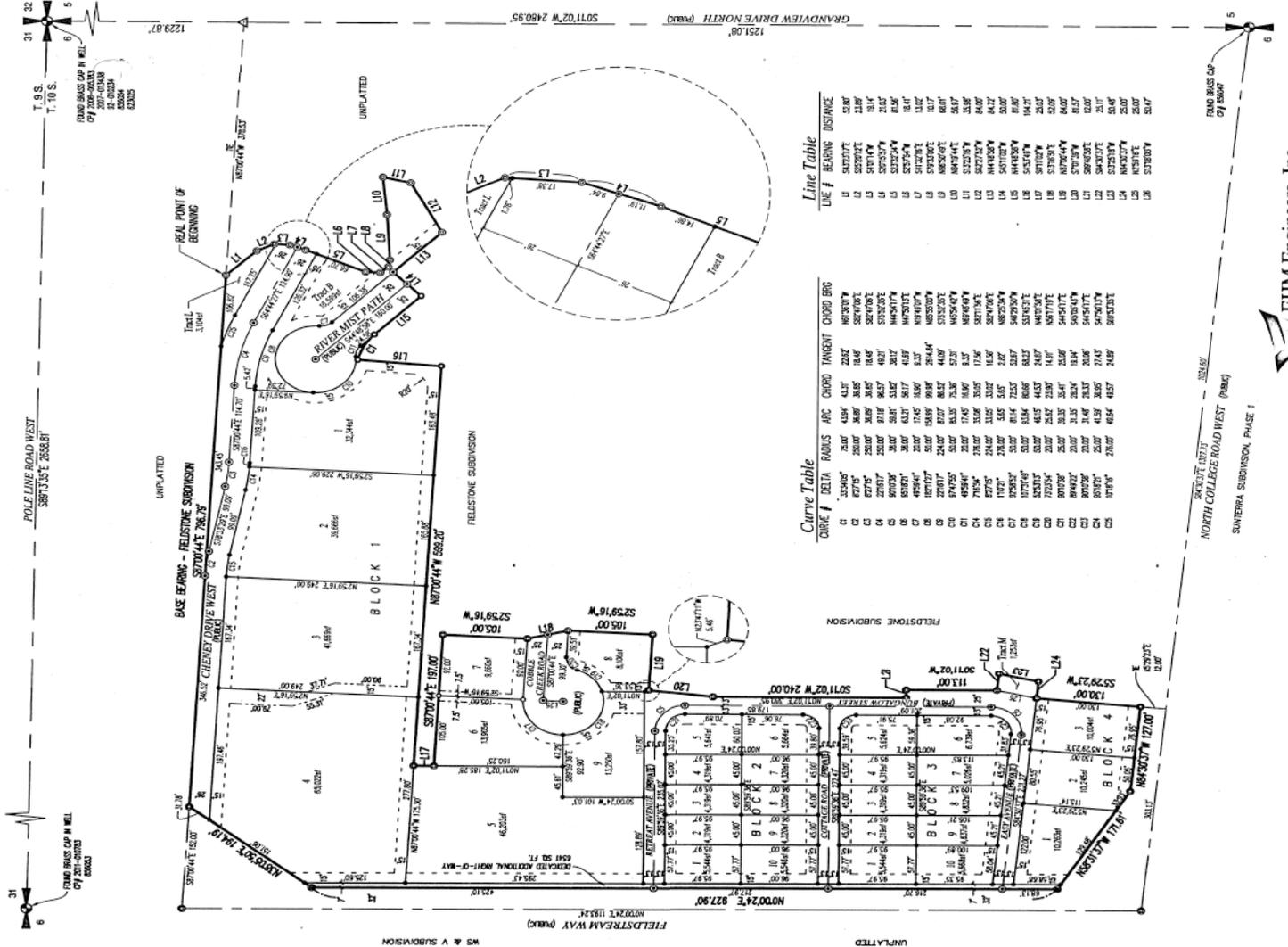
## Health Certificate

"SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE TITLE 50, CHAPTER 13, HAVE BEEN SATISFIED BASED ON THE STATE OF IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) APPROVAL OF THE DESIGN PLANS AND SPECIFICATIONS AND THE CONDITIONS IMPOSED ON THE DEVELOPER FOR CONTINUED SATISFACTION OF SANITARY RESTRICTIONS. BUTER IS CAUTIONED AT THE TIME OF THIS APPROVAL, NO DRAINING WATER OR SEWER/SEPTIC FACILITIES WERE CONSTRUCTED. BUILDING CONSTRUCTION CAN BE ALLOWED WITH APPROPRIATE BUILDING PERMITS FOR DRAINING WATER OR SEWER FACILITIES HAVE SINCE BEEN CONSTRUCTED OR IF THE DEVELOPER IS SIMULTANEOUSLY CONSTRUCTING THOSE FACILITIES. IF THE DEVELOPER FAILS TO CONSTRUCT FACILITIES TO MEET OTHER CONDITIONS OF DEQ, THIS SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL, AND NO CONSTRUCTION OF ANY BUILDING OR SHEDDING REQUIRING DRAINING WATER OR SEWER/SEPTIC FACILITIES SHALL BE ALLOWED."

DATE: 7/17/15

DISTRICT HEALTH DEPARTMENT, BHS

EHM Engineers, Inc.



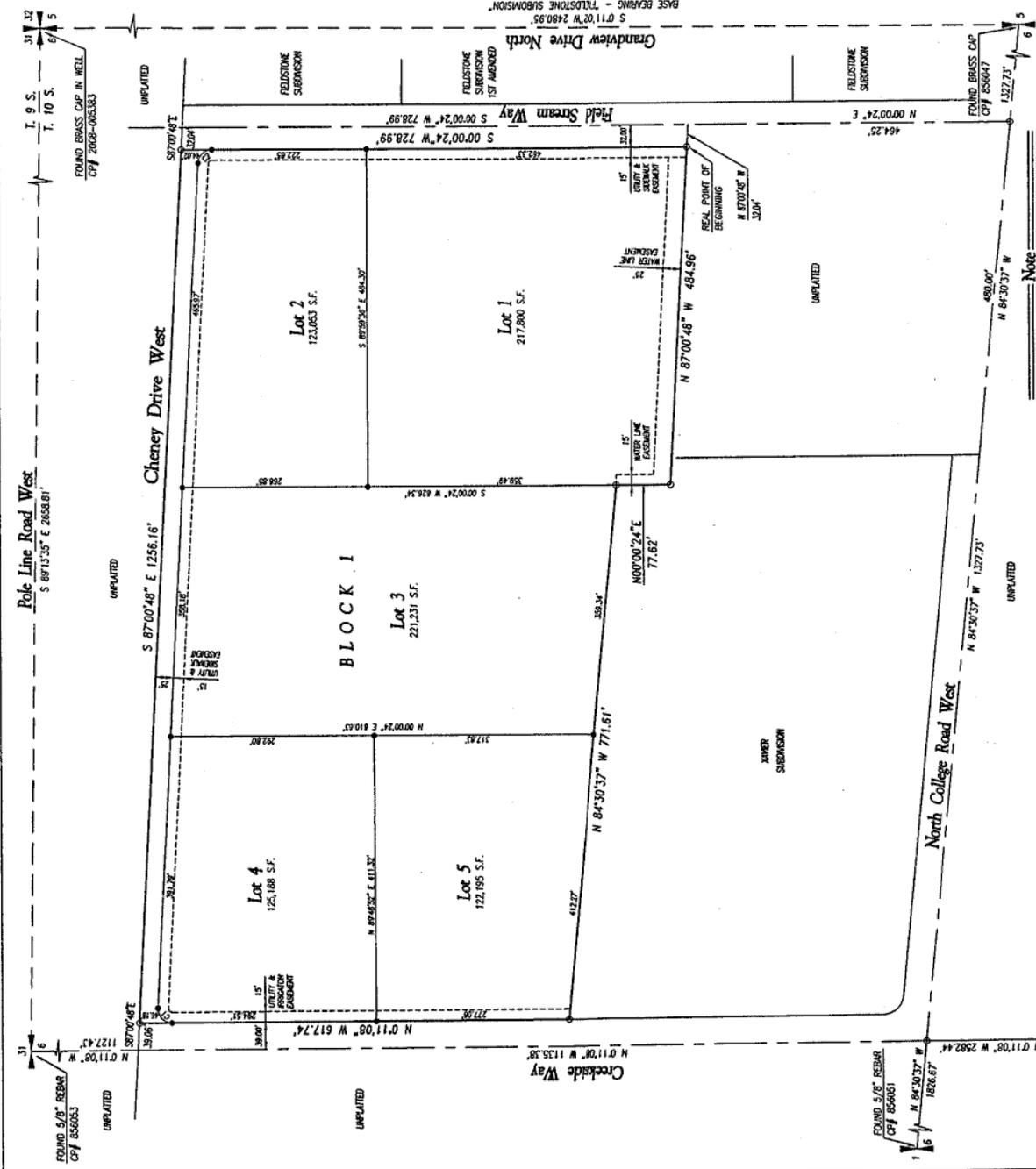
### Line Table

LINE #	BEARING	DISTANCE
1	S 82°27'00" W	51.87
2	S 27°00'00" W	21.87
3	S 27°00'00" W	21.87
4	S 27°00'00" W	21.87
5	S 27°00'00" W	21.87
6	S 27°00'00" W	21.87
7	S 27°00'00" W	21.87
8	S 27°00'00" W	21.87
9	S 27°00'00" W	21.87
10	S 27°00'00" W	21.87
11	S 27°00'00" W	21.87
12	S 27°00'00" W	21.87
13	S 27°00'00" W	21.87
14	S 27°00'00" W	21.87
15	S 27°00'00" W	21.87
16	S 27°00'00" W	21.87
17	S 27°00'00" W	21.87
18	S 27°00'00" W	21.87
19	S 27°00'00" W	21.87
20	S 27°00'00" W	21.87
21	S 27°00'00" W	21.87
22	S 27°00'00" W	21.87
23	S 27°00'00" W	21.87
24	S 27°00'00" W	21.87
25	S 27°00'00" W	21.87

### Curve Table

CURVE #	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BIC
1	30°00'00"	75.00	43.94	43.94	23.87	46.90
2	30°00'00"	75.00	43.94	43.94	23.87	46.90
3	30°00'00"	75.00	43.94	43.94	23.87	46.90
4	30°00'00"	75.00	43.94	43.94	23.87	46.90
5	30°00'00"	75.00	43.94	43.94	23.87	46.90
6	30°00'00"	75.00	43.94	43.94	23.87	46.90
7	30°00'00"	75.00	43.94	43.94	23.87	46.90
8	30°00'00"	75.00	43.94	43.94	23.87	46.90
9	30°00'00"	75.00	43.94	43.94	23.87	46.90
10	30°00'00"	75.00	43.94	43.94	23.87	46.90
11	30°00'00"	75.00	43.94	43.94	23.87	46.90
12	30°00'00"	75.00	43.94	43.94	23.87	46.90
13	30°00'00"	75.00	43.94	43.94	23.87	46.90
14	30°00'00"	75.00	43.94	43.94	23.87	46.90
15	30°00'00"	75.00	43.94	43.94	23.87	46.90
16	30°00'00"	75.00	43.94	43.94	23.87	46.90
17	30°00'00"	75.00	43.94	43.94	23.87	46.90
18	30°00'00"	75.00	43.94	43.94	23.87	46.90
19	30°00'00"	75.00	43.94	43.94	23.87	46.90
20	30°00'00"	75.00	43.94	43.94	23.87	46.90
21	30°00'00"	75.00	43.94	43.94	23.87	46.90
22	30°00'00"	75.00	43.94	43.94	23.87	46.90
23	30°00'00"	75.00	43.94	43.94	23.87	46.90
24	30°00'00"	75.00	43.94	43.94	23.87	46.90
25	30°00'00"	75.00	43.94	43.94	23.87	46.90

# Exhibit 7



Scale 1" = 100'

**WSS&V Subdivision First Amended  
A Planned Unit Development  
A Resubdivision & Renumbering Of  
Lot 2, Block 1, WSS&V Subdivision**  
In  
**SW4 NE4, Section 6  
T. 10 S., R. 17 E., B.M.  
Twin Falls County, Idaho  
2012**

**Legend**

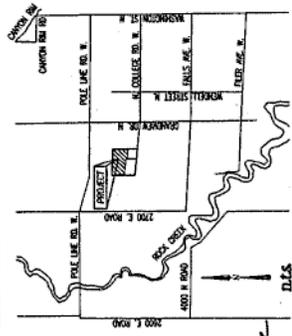
- SUBDIVISION BOUNDARY LINE
- LOT LINE
- ENCUMBRANCE AS NOTED
- SECTION LINE
- STREET CENTERLINE
- FOUND 5/8" REBAR & CP (LS 1000)
- FOUND 1/2" x 24" REBAR & CP (LS 1000)

**Health Certificate**

Sanitary restrictions as required by Idaho Code, Title 59, Chapter 13 have been established herein on the State of Idaho, Department of Health and Welfare, and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water or sewer/facilities were constructed. Building construction can be allowed with appropriate building permits if drinking water or sewer facilities are installed. The developer fails to construct facilities or meet the other conditions of DEC, then sanitary restrictions may be reimposed, in accordance with Section 59-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/facilities shall be allowed.

9-7-12  
Date

**Vicinity Sketch**



**Note**

OWNERS OF LOTS ON THIS PLAN WILL BE SUBJECT TO RESUBDIVISION AND ACCEPTED BEFORE DEVELOPMENT COORDS IF DEVELOPMENT ON AN OWNER'S LOT IS RESIDENTIAL IN NATURE.

OWNERS OF LOTS ON THIS PLAN WILL BE RESPONSIBLE FOR THE OBTAINMENT AND MAINTENANCE OF FACILITIES FOR ALL STORM WATER LOTS AND SHALL BE REQUIRED TO PROVIDE EASEMENTS FOR SUCH FACILITIES AT THE TIME OF BUILDING PERMIT APPLICATION.

**Curve Data**

Curve	Delta	Radius	Arc	Tangent	Chord	Chord Brg.
C1	57°10'20"	20.00'	32.32'	21.14'	28.06'	146°24'07"
C2	87°01'12"	20.00'	30.35'	18.89'	27.54'	54°30'12"

**TWIN FALLS COUNTY**  
**ENGINEERS**  
 9-25-19 A.M. 11-02-2012  
**2012-021257**  
 No. Pages: 3  
 E.A. HARRIS, Civil Engineer  
 County Clerk  
 Deputy: BRUNTER

**EHM**  
 ENGINEERS/SURVEYORS/PLANNERS  
 SHEET 7 OF 3

**CONTRACT DOCUMENTS  
FOR**

**The Housing Company**

**2015 Field Stream Apartments**

**Sewer Extension Project**

**Twin Falls, ID**

**January, 2015**

**Prepared By:**



# Information to Bidders

## 1. Project Identification

**Name of Project:** 2015 Field Stream Apartments Sewer Extension Project

**Location:** Grandview Drive, Pole Line Road, Field Stream Way (Extended), Twin Falls, Idaho

**Owner:** The Housing Company

**Engineer:** EHM Engineers, Inc.

**Project Description:** Construction of approximately 3,960 feet of 8 inch and 10 inch diameter sewer main, associated manholes, and appurtenances.

**Bid Date:** January 27, 2015 .

## 2. Preparation of Proposals

A. All blank spaces in the forms must be fully filled. Numbers must be stated both in writing and in figures. The completed form shall be without interlineations, alteration, or erasure.

B. The bidder shall submit bids for the bid schedule(s) listed in this proposal.

C. Each bid must be signed in long hand by the bidder with their usual signature. Bids by partnership must be signed with the partnership's name by one of the partners signing. Bids by corporations must be signed with legal name of the corporation followed by the name of the State of Incorporation and by the signature of the President, Secretary, or other person authorized to bond it in the matter. The name of each person signing shall be typed or printed below the signature.

## 3. Qualification of Bidders

Bid proposals will be accepted from those Contractors only (prime contractors, sub-contractors, and/or specialty contractors) who, prior to the bid opening, hold current appropriate licenses as Public Works' Contractors in the State of Idaho.

## 4. Bid Guarantees

Not required for this project.

## 5. Examination of Site and Documents

Before submitting a proposal, the bidder shall:

- A. Examine the drawings and specifications.
- B. Visit the site.
- C. Inform self of existing conditions and limitations.
- D. Include in bid, sums sufficient to cover all items required by contract, and rely entirely upon their own examinations in making their proposal and contract to fully complete such job for the sum so bid.

## **6. Interpretations of Documents**

- A. The Engineer shall be the sole interpreter of the plans and specifications.
- B. All changes, corrections, or approvals are to be in writing from the Engineer.
- C. Neither the Owner nor the Engineer will be responsible for oral interpretations.
- D. Questions received less than seven (7) days before the bid opening cannot be answered.
- E. All addenda issued during the time of bidding will be incorporated into the contract.

## **7. Submission of Bids**

- A. Bids shall be enclosed in an opaque sealed envelope marked as follows and delivered as required by the Advertisement for Bids:

From: (Name of Bidder and Public Works' Contractors License Number)

For: (Name of project Contractor is bidding)

- B. It is the responsibility of the bidder to see that their bid is received at or before **5:00 pm on January 27, 2015**. Any bid received after this time, whether read of not, will be null and void.

## **8. Withdrawal of Bids**

- A. No bid may be withdrawn or modified after the time set for the opening thereof, unless and until the award of the contract is delayed for a period exceeding thirty (30) days.

## **9. Inadequacies and Omissions**

During bidding, should a bidder find discrepancies in, or omissions from, the drawings or specifications, or be in doubt as to their meaning, the bidder should at once notify the Engineer, who will send written instructions or addenda to all bidders.

## 10. Bid Opening Procedure

- A. Bids will be opened privately at a time convenient to the **Owner**.
- B. The **Owner** will then have ten (10) days from time of bid opening to notify the **Contractor** or **Contractors** of his decision.
- C. The **Owner** reserves the following rights:
  - 1. To reject any and all bids.
  - 2. To waive any and all irregularities in bids submitted.
  - 3. To consider the competency and responsibility of bidders and their proposed sub-contractors in making the award.
  - 4. In the event only one bid is received, to return it unopened.

## 11. Estimated Quantities

Quantities listed in the Bid Schedule are reasonably accurate estimates, but are based on preliminary calculations, and are intended solely to be the basis of calculation upon which the award of the contract shall be made. Final payment will be made based upon the in place quantities.

## 12. Performance and Payment Bond

The **Contractor** shall provide a Performance and Payment Bond in the amount of one hundred percent (100%) of the contract amount. The bond shall accompany the completed contract agreement. The bond shall be made payable to The Housing Company.

## 15. Bid Acceptance

The **Owner** reserves the right to award either the entire project or portions of the project listed in the Bid Schedule. The **Contractor** shall include in the unit prices all costs for labor and materials, supervisory costs, overhead, profit and other costs.

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**Bid Proposal**

Proposal of DougMcCoy Construction, INC. (hereinafter called "**Bidder**"), organized and existing under the laws of the State of Idaho doing business as a corporation to the **The Housing Company** (hereinafter called "**Owner**").

In compliance with your Advertisement for Bids, **Bidder** hereby proposes to perform all work for the construction of the **2015 Field Stream Apartments Sewer Extension Project**, (hereinafter known as "**Project**") in strict accordance with the contract documents, within the time set forth therein, and at the prices stated below.

By submission of this bid, each **Bidder** certifies, and in the case of a joint bid each party thereto certified as to its own organization, that this bid has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this bid with any other bidder or with any competitor.

**Bidder** hereby agrees to commence work under this contract on or before a date to be specified in the Notice to Proceed and to fully complete the project in accordance with schedule specified. **Bidder** further agrees to pay as liquidated damages, the sum of Two Hundred Dollars (\$200.00) for each consecutive calendar day thereafter as provided in Section 22 of the General Conditions.

Note: Unit prices for all items, extensions, and total amount of bid must be shown. Show unit prices in both words and figures. If conflict or errors occur within the proposal, unit prices will govern in the calculation of the final total.

**Bidder** acknowledges receipt of the following Addenda:

\* \_\_\_\_\_  
Insert "a corporation", "a partnership", or "an individual" as applicable

\_\_\_\_\_  
Date January 27, 2015

\_\_\_\_\_  
Title President

\_\_\_\_\_  
Bidder Doug A. McCoy  
  
Signature

### PUBLIC WORKS LICENSES

Public works licenses are required for subcontractors working on this job. All subcontractors and public works licenses must be listed below. This list must be submitted with the bid.

	Contractor	License #	Date
1.	<u>Doug McCoy Construction</u>	<u>PWC-C-12524-AAA-4</u>	<u>10/31/15</u>
2.	_____	_____	_____
3.	_____	_____	_____
4.	_____	_____	_____
5.	_____	_____	_____
6.	_____	_____	_____

## BID SCHEDULE

Each item to be bid upon shall be completely filled in by the Contractor. Any omission in completing all bid items will be considered as an irregularity in the bidding and such proposal could be rejected, because of said irregularity, by the Owner.

I/We agree to perform all work required for the **2015 Field Stream Apartments Sewer Extension Project** for **The Housing Company**, and other related work in accordance with the plans and specifications prepared therefore and made a part hereof at the following unit prices and lump sum amounts:

**Note: All Items, Quantities Are In Place**

Item No	Estimated Quantity	Description & Unit Price	Extension of Amount
1.	1,320 LF	Install 8" Dia. Sewer Main \$ <u>18.50</u> Dollars per L.F.	\$ <u>24420.00</u>
	Written	<del>Eighteen dollars fifty cents</del>	<del>Twenty-four thousand four hundred twenty dollars</del>
2.	2,640 LF	Install 10" Dia. Sewer Main \$ <u>21.00</u> Dollars per L.F.	\$ <u>55440.00</u>
	Written	<u>Twenty-one dollars</u>	<u>Fifty-five Thousand four hundred forty dollars</u>
3.	16 EA	Install Sewer Manholes (With 4' Plugged Stubs @ Min. Slope as needed) \$ <u>2625.00</u> Dollars per Each	\$ <u>42000.00</u>
	Written	<del>Twenty-six hundred twenty-five dollars</del>	<del>forty-two thousand dollars</del>
4.	1 EA	Replace Manhole Barrel Above Lateral with Tie-in (Grandview Trunkline) \$ <u>1100.00</u> Dollars per Each	\$ <u>1100.00</u>
	Written	<u>Eleven hundred dollars</u>	<u>Eleven hundred dollars</u>
5.	20 LF	Install 42" Dia. CMP Irrigation Crossing \$ <u>93.00</u> Dollars per L.F.	\$ <u>1860.00</u>
	Written	<u>Ninety-three dollars</u>	<u>Eighteen hundred sixty dollars</u>

6. 20 LF Install 12" Dia. CMP Irrigation Crossing  
 \$ 18.00 Dollars per L.F. \$ 360.00  
 Written Eighteen Dollars Three hundred sixty dollars
7. 50 CY Rock Excavation  
 \$ 190.00 Dollars per Cu. Yd. \$ 9500.00  
 Written one hundred ninety dollars Ninety-five hundred dollars
8. 1 LS Shoulder Repair / Asphalt patch backs (Pole Line & Grandview)  
 \$ 26800.00 Dollars per Lump Sum \$ 26800.00  
 Written Twenty-six thousand eight hundred dollars Twenty-six Thousand Eight hundred dollars
9. 700 LF 12' Wide x 8" Depth Temp. Gravel Access Road  
 \$ 12.75 Dollars per L.F. \$ 8925.00  
 Written Twelve dollars & seventy-five cents Eighty-nine hundred twenty-five dollars
10. 1 LS Signage & Traffic Control (Per ITD Permit - In Place)  
 \$ 3500.00 Dollars per Lump Sum \$ 3500.00  
 Written Thirty-five hundred dollars Thirty-five hundred dollars
11. 1 LS Storm Water Pollution Prevention Plan  
 \$ 2500.00 Dollars per Lump Sum \$ 2500.00  
 Written Twenty-five hundred dollars Twenty-five hundred dollars
- TOTAL: 176405.00

## Notice Of Award

To: Doug McCoy Construction  
1646 Eldridge Avenue  
Twin Falls, Idaho 83301

**Project Description: 2015 Field Stream Apartments Sewer Extension Project.**

The **Owner** has considered the bid submitted by you for the above described work in response to its advertisement for bids dated January 13, 2015, and Information to Bidders. You are hereby notified that your bid has been accepted for items in the amount of \$176,405.00.

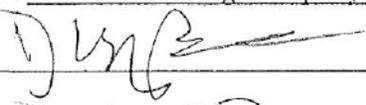
You are required by the Information to Bidders to execute the contract and furnish the required certificates of insurance, Performance Bond, and Labor & Material Bond within seven (7) calendar days from the date of this notice to you.

If you fail to execute said Contract within seven (7) days from the date of this notice, said **Owner** will be entitled to consider all your rights arising out of the **Owner's** acceptance of your bid as abandoned. The **Owner** will be entitled to such other rights as may be granted by law.

You are required to return an acknowledged copy of this Notice of Award to the **Owner** or the **Owner's** Representative, **EHM Engineers**.

Dated this 29th day of January, 2015.

Owner: The Housing Company

By: 

Title: Douglas E. Peterson, Director





**Exhibit 8-2 B  
Master Payback Worksheet  
Part B**

Original Contract Length	Unit Item	Per Unit	Cost	Lot 1 WS&V		Lot 2 WS&V		Lot 4 FPS		Area A&B		LAT 42		Totals	
				Footage	Cost	Footage	Cost	Footage	Cost	Footage	Cost	Footage	Cost	Footage	Cost
1320 LF	8" 50'/50 Share	\$ 18.50	\$ 24,420.00	\$ 306.61	\$ 5,672.28	\$ 263.31	\$ 2,435.62	\$ 270.63	\$ 2,503.33	\$ 9.85	\$ 182.23	\$ 696.76	\$ 12,890.06	\$ 1,013.22	\$ 18,744.57
2640 LF	10" Manholes	\$ 21.00	\$ 55,440.00							\$ 2,362.70	\$ 49,616.70	\$ 305.03	\$ 6,405.63	\$ 2,70.63	\$ 5,006.66
16 EA	Tie In	\$ 2,625.00	\$ 42,000.00	\$ 2.00	\$ 5,250.00					\$ 9.00	\$ 23,625.00	\$ 5.00	\$ 13,125.00	\$ 2,667.73	\$ 56,022.33
1 EA	42" CMP Cross	\$ 1,100.00	\$ 1,100.00							\$ 1.00	\$ 1,100.00				\$ 1,100.00
20 LF	12" CMP Cross	\$ 93.00	\$ 1,860.00									\$ 1.00	\$ 1,860.00		\$ 1,860.00
20 LF	12" CMP Cross	\$ 18.00	\$ 360.00							\$ 1.00	\$ 360.00				\$ 360.00
50 CU	Rock	\$ 190.00	\$ 9,500.00							\$ 1.00	\$ 9,500.00				\$ 9,500.00
1 EA	Shoulder	\$ 26,800.00	\$ 26,800.00							\$ 1.00	\$ 26,800.00				\$ 26,800.00
700 LF	Road	\$ 12.75	\$ 8,925.00							\$ 1.00	\$ 8,925.00				\$ 8,925.00
1 LS	Sign	\$ 3,500.00	\$ 3,500.00							\$ 1.00	\$ 3,500.00				\$ 3,500.00
1 LS	SWPPP	\$ 2,500.00	\$ 2,500.00							\$ 1.00	\$ 2,500.00				\$ 2,500.00
			\$ 176,405.00		\$ 10,990.00		\$ 2,435.62		\$ 2,503.33		\$ 126,108.93		\$ 34,280.69		\$ 176,318.56

# The Housing Company

## Off Site Sewer

Main Extension	Start	Stations	Manholes	End	Footage	Per Unit	Cost
Grandview Drive	2096.51	New	1	2096.51	31.00	10"	Per Site Plan
	2096.51	GV1	2	2096.51	999.72	10"	
		GV2	3	1896.79	13.00	10"	
		GV3	4	1496.79			Additional Footage at Site
		PL1	5	1096.79	4659.87	1318.98	10"
Poleline Road	5978.85			5978.85			
		PL2	6	5859.87			
		PL3	7	5459.87			
		PL4	8	5059.87			
Crossing	6364.88			6364.88	6355.03	9.85"	8" Existing Pipe
		FW8	10	6195.03			
<b>Total Pipe</b>					2362.70	10"	
<b>Manholes</b>					10.00		

Latitude 42	Start	Stations	Manholes	End	Footage	Per Unit	Cost
	6195.03	FW7	1	6167.60	27.43	10"	10" for Slope/
	6167.60	FW6	2	5905.88	261.72	10"	Not Capacity
	5905.88	FW5	3	5530.88	375.00	8"	
	5530.88	FW4	4	5515.00	15.88	10"	
	5515.00	FW3	5	5200.00	315.00	8"	
	5200.00			5193.24	6.76	8"	
<b>Total Pipe</b>					696.76	8"	
<b>Manholes</b>					305.03	10"	
<b>Manholes</b>					5.00		

### Field Stream Way Frontage

Lot 1 WS&V	SO Prop. Start + NO Prop	Manholes	End	Footage	Per Unit	Cost
	4467.60		4829.93	4616.00	313.93	
			4616.00	7.32	9.25	\$ 67.71
			4799.75	306.61	18.50	\$ 5,672.28
				2.00	2625.00	

Lot 2 WS&V	SO Prop. Start + NO Prop	Manholes	End	Footage	Per Unit	Cost
	4929.93		5193.24	4929.93	263.31	
			0.00	263.31	9.25	\$ 2,435.62

Lot 4 FPS	SO Prop. Start + NO Prop	Manholes	End	Footage	Per Unit	Cost
	4922.61		5193.24	4922.61	270.63	
				263.31	9.25	\$ 2,435.62
				7.32	9.25	\$ 67.71

Original Contract				Lot 1 WS&V		Lot 2 WS&V		Lot 4 FPS		Area A&B		LAT 42		Totals		Totals	
Length	Unit	Item	Per Unit	Cost	Footage	Cost	Footage	Cost	Footage	Cost	Footage	Cost	Footage	Cost	Footage	Cost	
1320.00	LF	8"	\$ 18.50	\$ 24,420.00	306.61	\$ 5,672.28					9.85	\$ 182.23	696.76	\$ 12,890.06	1,013.22	\$ 18,744.57	
2640.00	LF	50/50 Share	\$ 9.25	\$ 24,420.00	7.32	\$ 67.71	263.31	\$ 2,435.62	270.63	\$ 2,503.33	2,362.70	\$ 49,616.70	305.03	\$ 6,405.63	2,706.63	\$ 56,022.33	
16.00	EA	10"	\$ 21.00	\$ 336.00							9.00	\$ 23,625.00	5.00	\$ 13,125.00	16.00	\$ 336.00	
1.00	EA	Manholes	\$ 2,625.00	\$ 2,625.00	2.00	\$ 5,250.00					1.00	\$ 1,100.00				\$ 1,100.00	
20.00	LF	Tie In	\$ 1,100.00	\$ 22,000.00							1.00	\$ 1,100.00				\$ 1,100.00	
20.00	LF	42" CMP Cross	\$ 93.00	\$ 1,860.00							1.00	\$ 360.00	1.00	\$ 1,860.00		\$ 1,860.00	
50.00	CU	12" CMP Cross	\$ 18.00	\$ 900.00							1.00	\$ 360.00				\$ 360.00	
1.00	EA	Rock	\$ 190.00	\$ 190.00							1.00	\$ 9,500.00				\$ 9,500.00	
1.00	EA	Shoulder	\$ 26,800.00	\$ 26,800.00							1.00	\$ 26,800.00				\$ 26,800.00	
700.00	LF	Road	\$ 12.75	\$ 8,925.00							1.00	\$ 8,925.00				\$ 8,925.00	
1.00	LS	Sign	\$ 3,500.00	\$ 3,500.00							1.00	\$ 3,500.00				\$ 3,500.00	
1.00	LS	SWPPP	\$ 2,500.00	\$ 2,500.00							1.00	\$ 2,500.00				\$ 2,500.00	
																\$ 176,318.56	
				\$ 176,405.00		\$ 10,990.00		\$ 2,435.62		\$ 2,503.33		\$ 126,108.93		\$ 34,280.69		\$ 176,318.56	



<b>Worksheet</b>	<b>Exhibit 8-4</b>		Revised May 20, 2016			
<b>The Housing Company</b>						
<b>Off Site Sewer Project</b>						
				<b>Contact Information</b>		
				<b>Name</b>	Brad Wills	
				<b>Phone</b>	208-420-0314	
				<b>E-mail:</b>	bradwills@cox.net	
<b>Project Information</b>						
<b>Cross Streets</b>		Cheney Drive West and Field Stream Way				
<b>Description of Improvements</b>		Off Site Sewer Extension for Basin				
<b>RPT #</b>	RPT59780010050					
<b>Date of City's Approval</b>		4-Aug-15				
<b>Date of Application:</b>		1-Mar-16			<b>Engineering Department Notes Only</b>	
<b>Drawing Sheet #</b>		9-1 thru 9-2			<b>Date Submitted</b>	
					<b>Boundary Reviewed</b>	
<b>Description of Improvements</b>			Installation of a collection sewer line to connect this basin to the existing Grandview Trunk Line		<b>GIS Notes</b>	
<b>Description of Boundary</b>			See Narrative		<b>3rd Party Review</b>	
<b>Status of Property</b>			Platted and NonPlatted land and Field Stream Apt		<b>Commission Approval</b>	
<b>Method to determine Payback</b>			Both Frontage and Percentage of Benefit Based On Acreage and Frontage			
Refer to Exhibit 8-2 and 8-3 Master Payback Worksheets Part 1 and 2 for Cost Breakdowns						
<b>Support Information</b>						
<b>Description</b>		<b>Reference #</b>	<b>Contractor</b>	<b>Notes</b>		
<b>Master Unit Pricing Worksheet</b>						
<b>Exhibit 8-1</b>		<b>Contract Document</b>	<b>Doug McCoy Construction</b>	<b>See Contract for Cost Breakdown</b>		
<b>Method of Percentage of Benefit</b>						
<b>Method of Frontage of Benefit</b>						
<b>Eligible Payback</b>						
<b>Description</b>		<b>RPT #</b>	<b>Owner</b>	<b>Acres</b>	<b>Cost Per Acre</b>	<b>Amount of Payback</b>
<b>See Worksheet</b>		RP00107060620	Non Platted <b>Latitude 42</b>	33.398	Per Worksheet	70,836.71
		RP10S17E062405	Non Platted <b>Mary R. Requa</b>	33.164	Per Worksheet	31,193.81
		RP10S17E062500	Non Platted <b>Mary R. Requa</b>	1.000	Per Worksheet	940.59
		RP10S17E064200	Non Platted <b>Mary R. Requa</b>	20.000	Per Worksheet	18,811.85
		RP10S17E062411	Non Platted <b>Houser/Nelson</b>	46.547	Per Worksheet	43,781.76
		RPT59780010050	Lot 1 WS&V <b>The Housing Company</b>	5.000	Per Worksheet	17,341.46
		RPT59780010020	Lot 2 WS&V <b>WS &amp; V, LLC</b>	2.825	Per Worksheet	5,458.14
		RPT59780010030	Lot 3 WS&V <b>Canyons Retirement</b>	5.079	Per Worksheet	4,777.27
		RPT59780010040	Lot 4 WS&V <b>WS &amp; V, LLC</b>	2.874	Per Worksheet	2,703.26
		RPT59780010050	Lot 5 WS&V <b>WS &amp; V, LLC</b>	2.805	Per Worksheet	2,638.36
		RPT19130010040	Lot 4 FPS <b>Wills, Inc.</b>	1.493	Per Worksheet	4,283.13
				154.185		202,766.34
<b>Owner Information</b>						
<b>RPT #</b>	<b>Owner</b>	<b>Address</b>			<b>Phone #</b>	<b>Contacted</b>
RP00107060620	<b>Latitude 42</b>	<b>PO Box 6004, Twin Falls, Id 83303-6004</b>				
RP10S17E062405	<b>Mary R. Requa</b>	<b>2733 E 4100 N, Twin Falls, Id 83301</b>				
RP10S17E062500	<b>Mary R. Requa</b>	<b>2733 E 4100 N, Twin Falls, Id 83301</b>				
RP10S17E064200	<b>Mary R. Requa</b>	<b>2733 E 4100 N, Twin Falls, Id 83301</b>				
RP10S17E062411	<b>Houser/Nelson</b>	<b>PO Box 6004, Twin Falls, Id 83303-6004</b>				
RPT59780010050	<b>The Housing Company</b>	<b>565 West Myrtle, Boise, Id 83702</b>				
RPT59780010020	<b>WS &amp; V, LLC</b>	<b>PO Box 0566, Twin Falls, Id 83301</b>				
RPT59780010030	<b>Titleholder VIII, LLC</b>	<b>PO Box 0249, Ketchum, Id 83340-0249</b>				
RPT59780010040	<b>WS &amp; V, LLC</b>	<b>PO Box 0566, Twin Falls, Id 83301</b>				
RPT59780010050	<b>WS &amp; V, LLC</b>	<b>PO Box 0566, Twin Falls, Id 83301</b>				
RPT19130010040	<b>Wills, Inc.</b>	<b>222 Shoshone St. West, Twin Falls, Id 83301</b>				





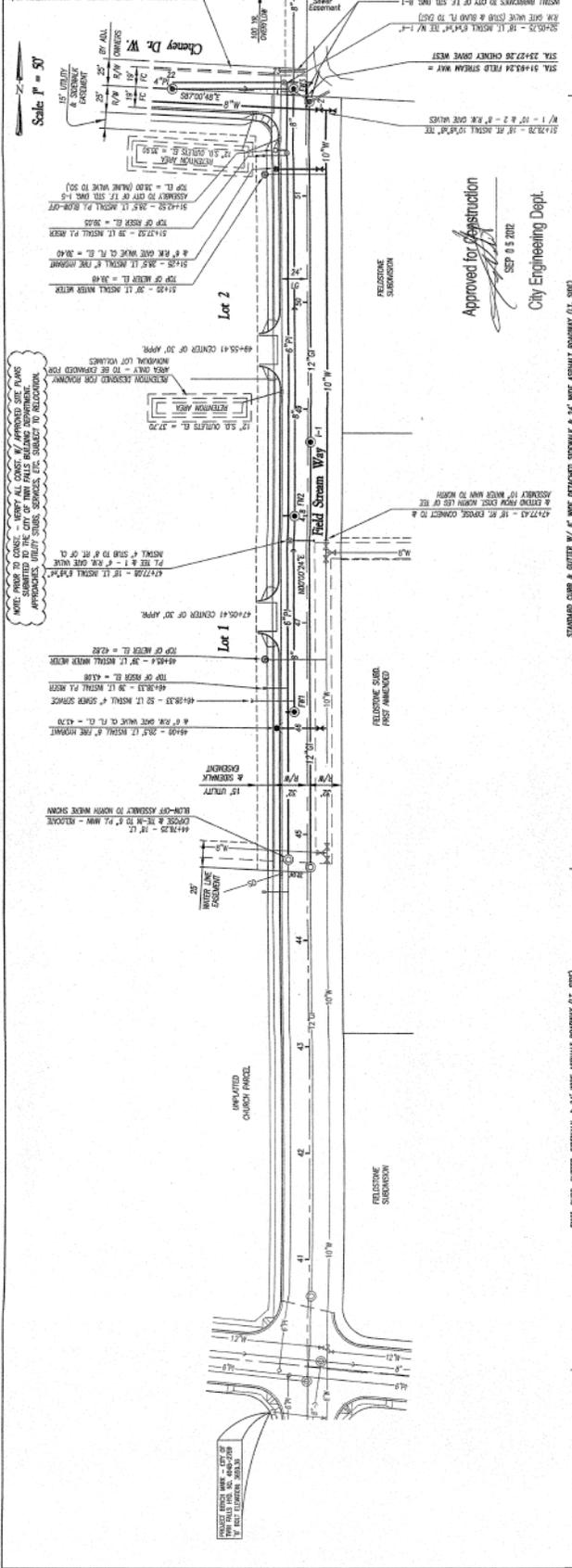




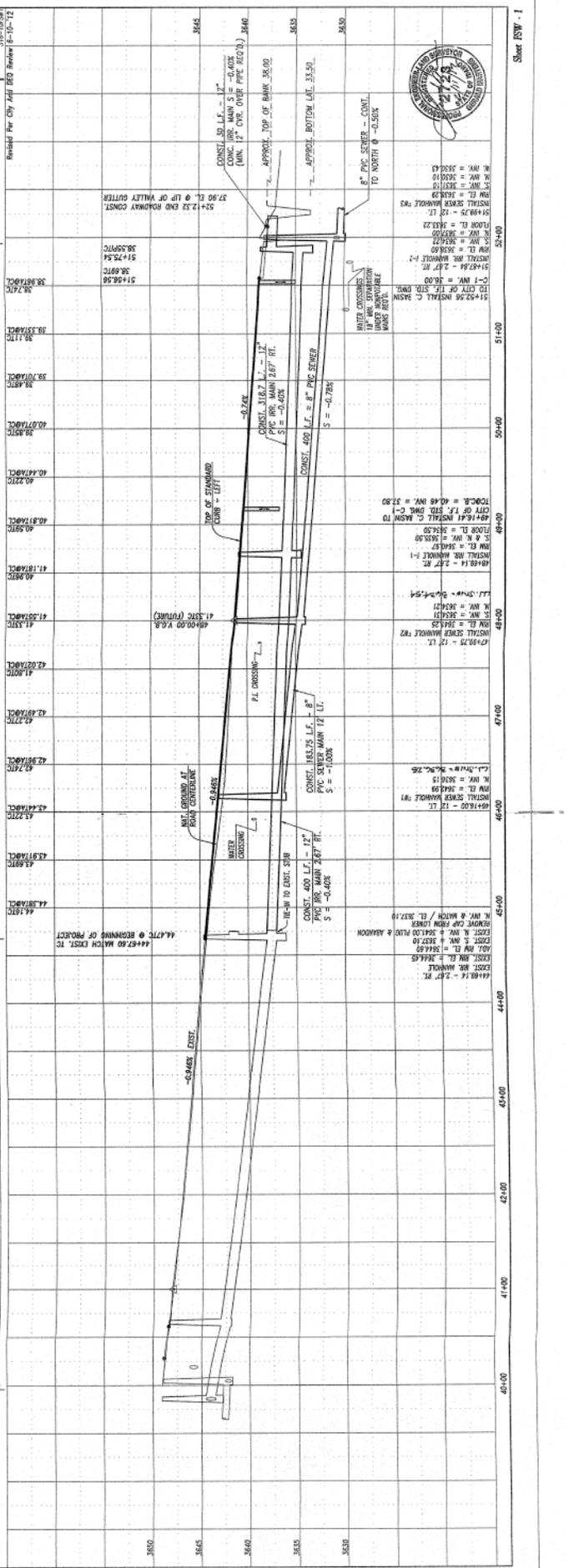
**EHM Engineers Inc.**  
 ENGINEERS/PLANNERS  
 1000 W. 10th Street, Suite 100  
 Tulsa, Oklahoma 74103  
 (918) 438-8888

**Trin Falls, Okla.**  
 Construction Plan For  
 WSSV Subd. (ST Amended) - Trin Stream Way

DESIGN: T. Weaver  
 DATE: November, 2010  
 SCALE: 1" = 50'



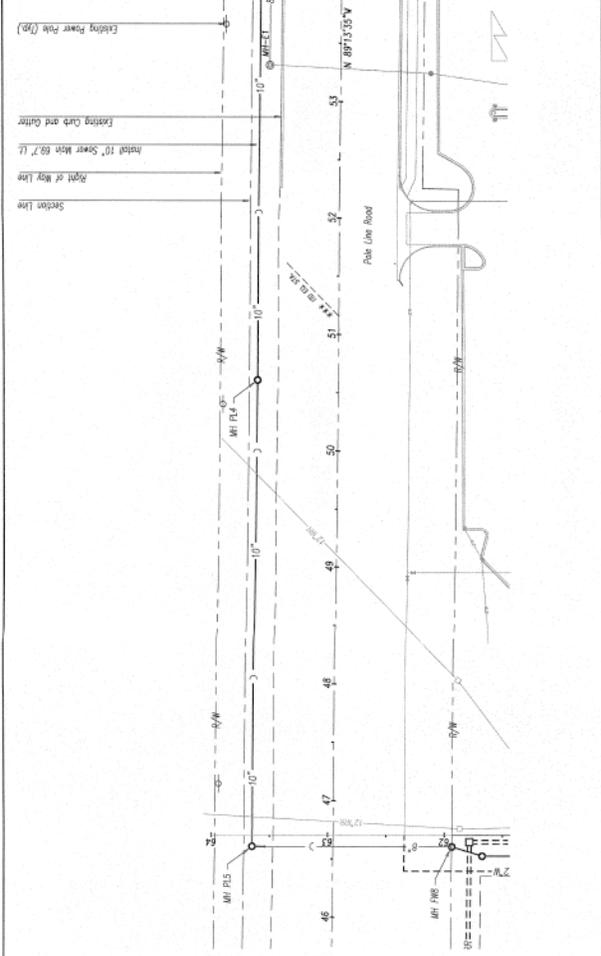
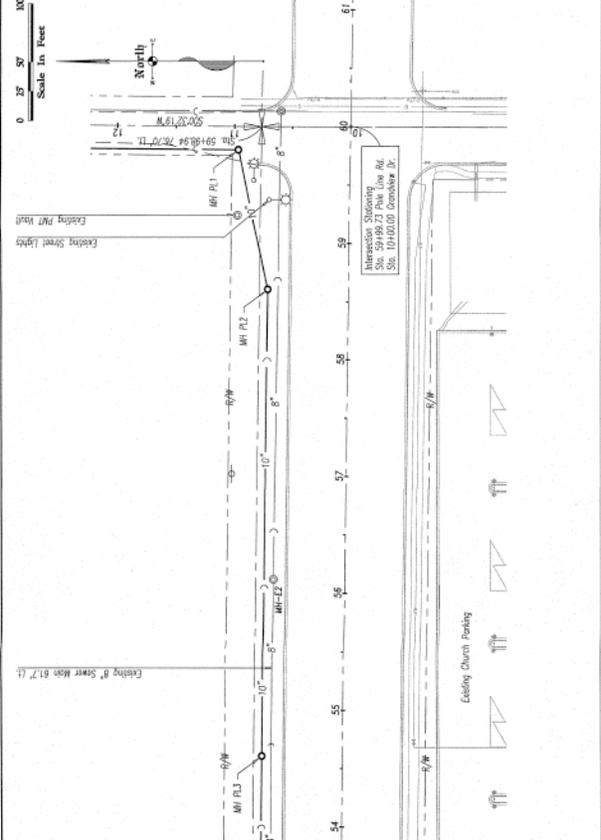
Approved for Construction  
 SEP 0 3 2012  
 City Engineering Dept.







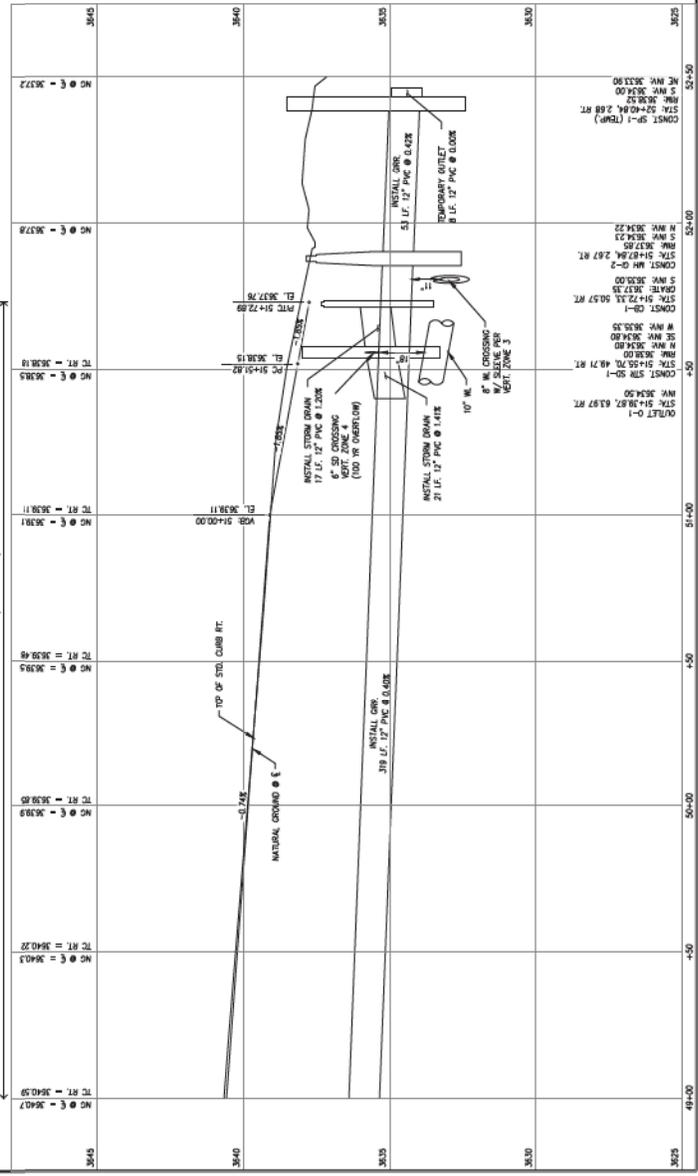
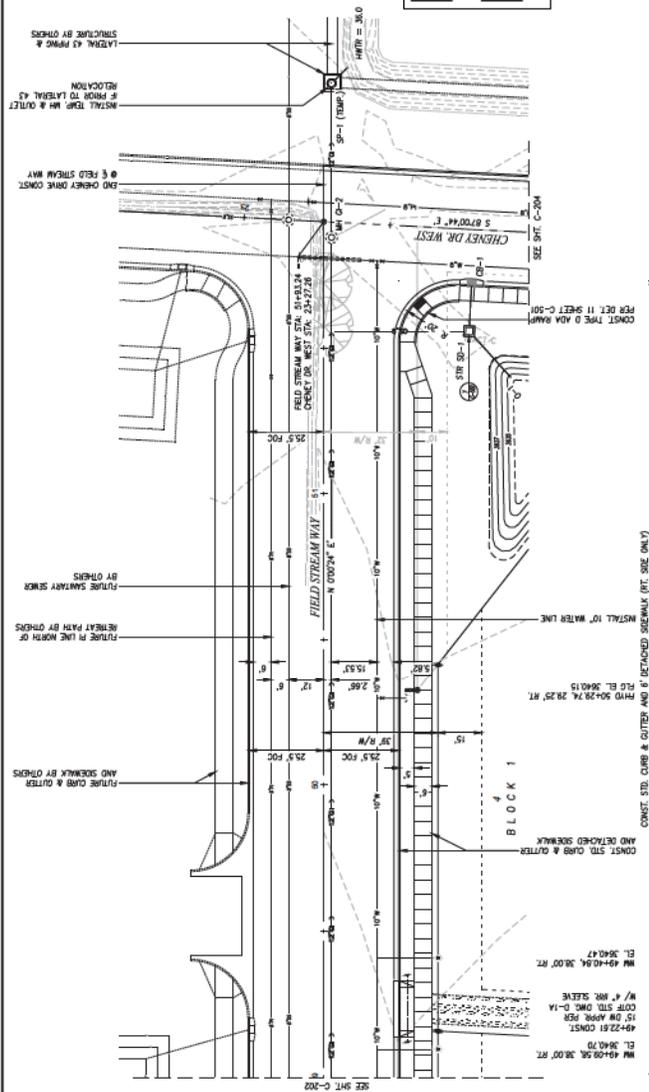
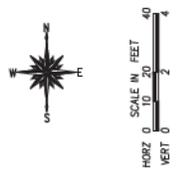
Offsite Sewer Construction Plans  
 For:  
**WS&V Subdivision**  
 Twin Falls, Idaho  
**EHM** Engineers Inc.  
 4801 N. SCHAUBER AND BATTLE  
 TWIN FALLS, IDAHO 83402  
 PHONE: 208.338.4444 FAX: 208.338.4445  
 E-MAIL: info@ehmengineers.com



Station	Notes	Station	Notes
46+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	51+00	50+59.87 69.7' LT. Inlet Manhole P.4 Invert Elevation: 21.03 Manning's n: 0.015
47+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	52+00	51+59.87 69.7' LT. Inlet Manhole P.3 Invert Elevation: 20.01 Manning's n: 0.015
48+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	53+00	52+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 18.29 Manning's n: 0.015
49+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	54+00	53+59.87 69.7' LT. Inlet Manhole P.1 Invert Elevation: 16.69 Manning's n: 0.015
50+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	55+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 15.00 Manning's n: 0.015
51+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	56+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 13.31 Manning's n: 0.015
52+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	57+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 11.62 Manning's n: 0.015
53+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	58+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 9.93 Manning's n: 0.015
54+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	59+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 8.24 Manning's n: 0.015
55+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	60+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 6.55 Manning's n: 0.015
56+00	54+59.87 69.7' LT. Inlet Manhole P.5 Invert Elevation: 522.25 Manning's n: 0.015	61+00	54+59.87 69.7' LT. Inlet Manhole P.2 Invert Elevation: 4.86 Manning's n: 0.015



# Exhibit 9-2 Fieldstone Pro Sub Utility



# Off Site Sewer Project WS&V Sub 1st Amended

## Owners Certificate NTS

**CERTIFICATE****OF****OWNER**

This is to certify that the undersigned is the owner or representative of the owner in fee simple of the following described property, located in a portion of SW4 NE4, Section 6, Township 10 South, Range 17 East, Boise Meridian, Twin Falls County, Idaho; said property being more specifically described as follows:

Commencing at the Northeast corner of Section 6. Thence, S 00°11'02"W, 2480.95 feet to the East quarter corner of said Section 6. Thence, N 84°30'37"W, 1327.73 feet along the South boundary of SE4 NE4, Section 6 to the Southwest corner thereof. Thence, N 00°00'24"E, 464.25 feet along the East boundary of the SW4 NE4, Section 6. Thence, N 87°00'48"W, 32.04 feet to a point on the West right of way of Field Stream Way and being the REAL POINT OF BEGINNING.

Thence, N 87°00'48"W, 484.96 feet, parallel with the North boundary of said SW4 NE4, Section 6 to a point on the Easterly boundary of "Xavier Subdivision".

Thence, N 00°00'24"E, 77.62 feet, parallel with the East boundary of said SW4 NE4, Section 6 along said Easterly boundary of "Xavier Subdivision".

Thence, N 84°30'37"W, 771.61 feet, along the Northerly boundary of "Xavier Subdivision" to the Northwest corner thereof.

Thence, N 00°11'08"W, 617.64 feet, along the East right of way of Creekside Way to a point on the North boundary of SW4 NE4. ;

Thence, S 87°00'48"E, 1256.16 feet, along the North boundary of said SW4 NE4, Section 6, to a point on the West right of way of Field Stream Way.

Thence, S 00°00'24"W, 728.99 feet, along the West right of way of Field Stream Way to the REAL POINT OF BEGINNING.

The gross area contained in this platted land as described is 19.31 acres.

It is the intention of the undersigned to, and they do hereby include said land in this plat. That the undersigned by these presents dedicate to the public for public use forever the road rights of way as shown within this plat. The easements indicated on this plat are not dedicated to the public, but the rights to use said easements are hereby perpetually reserved for public utilities and such other uses designated on this plat. No structure other than for such utility and other designated public uses are to be erected within the lines of said easements.

Pursuant to Idaho Code 50-1334, I, the undersigned, as owner, do hereby state that the lots on this plat are eligible to receive water service from the City of Twin Falls Municipal Water System.

Pursuant to Idaho Code 31-3805, I, the undersigned, as owner, do hereby state that the irrigation water rights appurtenant and the assessment obligation of the lands in this plat have not been transferred from said lands and that a satisfactory irrigation water delivery system is provided for and has been approved by the Twin Falls City Council. Lots within the subdivision will be entitled to water rights and will be obligated for assessments from the Irrigation District and/or Canal Company.

WS & V, LLC, an Idaho Limited Liability Company

By: *Douglas Vollmer*  
Douglas Vollmer, Member

**Exhibit 11**  
**City of Twin Falls Approval**



P.O. Box 1907 305 Third Avenue East

Twin Falls, Idaho 83303-1907

Fax: (208) 736-1501

**ENGINEERING**

**208-735-7255**

August 4, 2015

Tim Vawser  
EHM Engineer, Inc.  
621 N. College Rd- Suite 100  
Twin Falls, Id. 83301

REF: WS& V Subdivision

Dear Mr. Vawser,

The City of Twin Falls has field reviewed the above reference project and found that the Engineering requirements have been completed for offsite sewer construction. Therefore the City of Twin Falls will accept these public improvements for maintenance upon today's date as well as the one-year warranty. Please keep in mind we will revisit this project 60 Day's prior to the anniversary of the warranty.

If you have any questions please feel free to contact me at 735-7255

Sincerely;

Garry Denton  
Engineering Technician

A handwritten signature in black ink, appearing to read "Garry Denton".

Cc: Jackie Fields PE, City Engineer  
Troy Vitek PE, Assistant City Engineer  
Doug McCoy Const., Inc.